

20171207-BOE

~~20171130-BOE~~

HHS PRESS BOX PHASE TWO RENOVATION

Sumner County Board of Education, 1500 Airport Road, Gallatin, TN 37066 for Responses to an Invitation to Bid will be received by the Purchasing Department, 20171130-BOE for phase two renovations to the football press box at Hendersonville High School until ~~November 30~~ December 7, 2017 1:30 p.m. local time. Sealed bid responses will be opened at that time, taken under advisement and evaluated. A non-mandatory Pre-bid Conference will be held 2:00 P. M. local time, on November 21, 2017 at the Larry Riggsbee Support Services Facility, 1500 Airport Road, Gallatin, 37066. Any specific questions should be directed to Joe Bibeau at 615-829-2410 (joe@eagle-ent.net) or Don Long at (615) 815-8347 (don.long@sumnerschools.org). Proposals are subject to the Board of Education's conditions and specifications, which are available from Janice Wright, Purchasing Coordinator (615) 451-5255. All bids can be viewed on line at www.sumnerschools.org; Invitation for Bids under Helpful Links at the bottom of the Home Page.

NOTICE TO RESPONDENTS

Responses to an Invitation to Bid will be received by the Purchasing Coordinator in the SUPPORT SERVICE FACILITY CONFERENCE ROOM, Sumner County Board of Education, 1500 Airport Road Gallatin, TN 37066. They will be received until **2:00 P.M. Local Time Thursday NOVEMBER 30, 2017** for **20171130-BOE Press Box** at which time the sealed bid responses will be opened, taken under advisement and evaluated. **BIDS WILL BE POSTED ON www.sumnerschools.org**

GENERAL REQUIREMENTS AND CONDITIONS

1. The Sumner County Board of Education reserves the right to accept or reject any and/or all responses in whole or in part, and to waive informalities therein.
2. Any responses received after the scheduled closing time for the receipt for responses will not be considered.
3. If a mistake is discovered after the responses are received, only the Sumner County Board of Education may allow the respondent to withdraw the entire response.
4. The Owner or Owner's designee shall approve partial payments, submitted as monthly payment applications, provided work completed is satisfactory. Terms will be net 30 days.
5. Payment will not be made until the said **Press Box** has been inspected and approved as meeting all specifications by persons appointed by the Sumner County Board of Education for Partial and Final Payments.
6. Responses submitted must be in a sealed envelope and marked on the outside as follows:

RESPONSE: HHS Press Box

DEADLINE: ~~November 30~~ December 7, 2017 1:30 P.M. LOCAL TIME

7. Facsimile responses will not be considered.
8. If a successful bidder violates any terms of their bid, the contract, school board policy or any law they may be disqualified from bidding for a period of two years for minor violations or longer for major violations. Bids from disqualified bidders will not be accepted during the period of disqualification.
9. Prices quoted on the response (if any) are to be considered firm and binding for sixty (60) days.
10. No purchase or contract is authorized or valid until the issuance of a Board Purchase Order in accordance with Board Policy. No Board Employee is authorized to purchase equipment, supplies or services prior to the issuance of such a Purchase Order.
11. Any deviation from these stated terms, specifications and conditions must be coordinated with and approved in writing by the Purchasing Coordinator, Janice Wright (615) 451-5255.
12. All bids that exceed \$25,000 must have the Company Name, License Number, Expiration Date thereof and License Classification of Contractor listed on outside of sealed envelope as required by State of Tennessee Code Annotated 62-6-119.
13. The awarded bidder will be required to post a performance and payment bond in the amount of 25% of the contract price if it exceeds \$100,000 as stated by State of Tennessee Code Annotated 12-4-201.
14. If the project cost in excess of \$25,000 a performance bond must be secured by the requesting party in an amount equal to the market improvement value.

Sumner County Schools

Press Box Renovation

GENERAL SCOPE OF WORK

A. Provide all equipment and materials, and do all work necessary to renovate the Football Press Box, as specified herein. The existing Press Box is located atop the home side bleachers of the football field for Hendersonville High School, 123 Cherokee Road, Hendersonville TN 37075.

B. This project is being primarily funded through revenue provided by the Commando Football Parent Booster Club. This project is divided into two phases:

- Phase Two is for the construction of the press box.
- Phase One has been completed by others.

1.1 SUBMITTALS

A. Signed Bid Form

B. References

Bidder shall submit references of no less than three previous clients, including full contact information, which shall be included with the bid.

1.2 QUALITY ASSURANCE

A. A one-year warranty backed by the selected bidder for materials and workmanship will be required. The warranty date shall begin upon a Notice of Substantial Completion being provided from the Owner to the selected Bidder.

B. All local codes will govern.

1.3 PRE-BID MEETING

A. A non-mandatory pre-bid meeting will be held on Tuesday, November 21, 2017 at 2:00 P.M. local time at the Larry Riggsbee Support Services Building, 1500 Airport Road, Gallatin TN 37066.

1.4 PROJECT SCHEDULE

A. If an acceptable bid(s) is received, a recommendation will be made to the Sumner County Board of Education for approval at their ~~December 5, 2017~~ **January 16, 2018** regular meeting. If approved, a notice to proceed will be provided to the successful bidder upon the execution of AIA Document A101-2007 Standard Form Agreement Between Owner and Contractor document, any required bonds as specified herein, and Certificate of Liability Insurance are provided to the Owner.

B. Project completion shall be on, or before, June 1, 2018. Liquidated damages in the amount of \$500 per day shall be assessed for every day past the project completion date not approved in writing by the owner.

BID FORM
for
Hendersonville High School Stadium
Announcer & Press Box Renovation – Phase 2
123 Cherokee Road
Hendersonville, Tennessee, 37075-3701
November 12, 2017

Owner:
Sumner County Board of Education, Don Long, Sr. Project Manager
(615) 815-8347
Project Manager:
Eagle Enterprises of TN LLC, Joseph C, Bibeau
615-829-2410

Contractor Name: _____
Address: _____
Telephone: _____
E-mail Address: _____
Contractor License Number: _____
Workman's Compensation Policy #: _____
Builder's Risk Insurance Policy #: _____

NOTE: Copies of current insurance policies must be provided prior to starting work.

IMPORTANT NOTE: In order to assure all bids are equitably compared, the Contractor must submit his proposal on this form.

LUMP SUM BID shall include all material, labor, overhead, profit, permits, insurance, cleanup costs, etc. necessary to complete the job as specified herein & as shown on the attached drawings. The lump sum bid shall not include cost for items identified as WORK BY OTHERS.

LUMP SUM BID: \$ _____ .00

BID BREAKDOWN: This breakdown is to be used to validate that the contractor understands the scope of work. It is not intended to be used as a deduct price. Overhead and profit should be distributed across the sub price items such that the sum of the individual items will equal the Lump Sum Bid.

Demolition	\$ _____
Framing, windows, doors, & all exterior trim	\$ _____
Roofing	\$ _____
Exterior Painting, caulking, & sealing	\$ _____
Masonry (brick installation)	\$ _____
General Conditions - insurance, bonds, safety barriers, permits, etc.	\$ _____

OWNER ALTERNATES

- 1) Provide & install fiber cement siding in lieu of vinyl siding on the west exterior wall of the structure
ADD \$ _____
- 2) Add wood framed ship ladder stairs, landing, & railings to second floor.
ADD \$ _____

Acknowledgment of site visit with project manager prior to bid submittal: ☐
(NOTE: Scheduling will be determined by the project manager)

DRAWINGS INCLUDED:

Elrod Engineering #500.00386 - Sheet S1
Elrod Engineering #500.00386 - Sheet S2
Eagle Enterprise A101 - Plan View & Elevations
Eagle Enterprise D101 - Details

WORK BY OTHERS:

- 1) All new electrical installation (demolition remains in this contract)
- 2) All interior drywall, trim, cabinets, counter tops, finished flooring, painting and caulking
- 3) Removal and reinstallation of scoreboard wiring and sound system
- 4) Removal and reinstallation of permanent fencing & gates
- 5) Ventilation fans (except framing opening included in this contract)
- 6) Permanent signage
- 7) Insulation
- 8) Stairs, landing, and handrails to second floor.
- 9) Structural steel and footings under the bleachers (work already complete)

Specification for Announcer & Press Box Renovation

GENERAL – All work must comply with all local, state, & national codes at no additional cost to the Owner. Installation of material shall be installed to the material manufacturer's recommendations &/or specifications unless written deviation is obtained from the Project Manager. All work shall be completed in a professional and workmanlike manner.

SPECIAL CONDITIONS:

- 1) The Owner shall have the right to inspect all concealed work before it is covered. If the Owner does not respond within 48 hours of written notification, the Contractor may proceed.
- 2) The Contractor shall specify all critical materials selection decision dates, if any, within 1 week after award of the contract. The completion date should not exceed 2 months from award.
- 3) Payments will be made on a progressive monthly basis. Monthly invoices should include a breakdown of the invoice in % complete by subcontract & by major self performed activity. Payments will not be made until all Lien Releases are received from subcontractors for payments previously paid. The Final Payment will not be released until the Owner receives lien releases for all work and all materials supplied by significant contractors & suppliers and a Notice of Completion has been filed with the local governing authority.
- 4) All materials and debris generated by this Contractor's construction activity shall be removed from the site by this Contractor

WORK INCLUDED:

DEMOLITION - demolish the existing announcer's booth and remove all unusable materials from site. The Contractor will be allowed to place a dumpster on the ground adjacent to the structure being demolished. The windows must be saved for installation in the new structure.

Specification for Announcer & Press Box Renovation

GENERAL – All work must comply with all local, state, & national codes at no additional cost to the Owner. Installation of material shall be installed to the material manufacturer's recommendations and/or specifications unless written deviation is obtained from the Project Manager. All work shall be completed in a professional and workmanlike manner.

All trade specific permits will be applied for and paid for by the Contractor. The Owner will provide & pay for the Building Permit.

SPECIAL CONDITIONS:

1) The Owner shall have the right to inspect all concealed work before it is covered (i.e., rebar, forming, insulation, foundation sealing, rough plumbing and wiring, etc.). If the Owner, or Project Manager, does not respond within 48 hours of written notification, the Contractor may proceed.

2) The Contractor shall specify all critical materials selection decision dates, if any, within 1 week after award of the contract. The completion date should not exceed August 1, 2018.

3) Payments will be made on a progressive monthly basis. Monthly invoices should include a breakdown of the invoice in % complete by subcontract & by major self-performed activity. Payments will not be made until all Lien Releases are received from subcontractors for payments previously paid. All pay applications shall be submitted to the Project Manager for review and certification. The Project Manager shall then submit to the Owner for payment processing. The Final Payment will not be released until the Owner receives lien releases for all work and all materials supplied by significant contractors & suppliers and a Notice of Completion has been filed with the local governing authority.

4) All materials and debris generated by this Contractor's construction activity shall be removed from the site by this Contractor

WORK BY OTHERS: Signs, structural steel, and footings

WORK INCLUDED - PHASE 2:

DEMOLITION - demolish the existing announcer's booth and remove all unusable materials from site.

FRAMING– all framing shall be by this contractor. All lumber shall be new, kiln dried pine, #2 or better. Nailing practices and sizes must be to code. Wall studs shall not exceed 16" on center. Wrap entire structure with 6" overlapped Tyvek house wrap.

BRICK/MASONRY - Install all brick on the north, south, and east side of the structure. Brick & mortar shall match the brick & Type N mortar presently installed on the sides of the bleachers. Provide corrugated brick ties to the framing every two courses, 2 ft on center. Provide 3 1/2" x 3 1/2" x 1/4" red oxide primed steel lintels above all window and door openings. Acid wash upon completion.

FRAMING— all framing shall be by this contractor. All lumber shall be new, kiln dried pine, #2 or better. Nailing practices and sizes must be to code. Wall studs shall not exceed 16" on center. Wrap entire structure with 6" overlapped Tyvek house wrap. Include all blocking required for drywall installation by others. Core drill one 6" and one 1 ½" diameter hole in the precast concrete floor panel as located by the Owners engineer. The smaller hole will be below the north wall.

BRICK/MASONRY - Install all brick on the north, south, and east side of the structure. Brick & mortar shall match the brick & Type N mortar presently installed on the sides of the bleachers. Provide corrugated brick ties to the framing every two courses, 2 ft on center. Provide 3 1/2" x 3 1/2" x 1/4" red oxide primed steel lintels above all window and door openings. Acid wash upon completion.

ROOFING Roof materials shall be Owens Corning Oakridge Dimensional Shingles, Estate Gray, 30 year Warranty, applied over 1/3, lapped 15 # roofing felt. Install four (4) factory painted aluminum, black roof vents with bird/insect screens equally spaced near roof peak.

PAINTING, CAULKING, & SEALING - All exterior siding & trim will be caulked with a silicone caulking material guaranteed for a minimum of 50-year performance. The bottom plate of the structure shall be caulked continuously on both the inside and outside interface with the concrete floor surface. Caulk joint between brick and wood brick pockets & door and window trim. All exposed wood surfaces shall be primed with two finish coats to cover. Paint suppliers may be Sherman Williams, Behr or Owner approved equal.

EXTERIOR TRIM & SIDING –Eave overhangs will be totally enclosed and trimmed with white vinyl/ventilated soffit. **Vinyl Siding, Soffit & Trim** –. Soffit trim shall be Alside "Superspan" with aeration panels as required by code. Siding shall be Alside dutch lap "Conquest" siding with manufacturers recommended closures & trim. Fascia shall be wrapped in Alcoa, factory painted coil aluminum. Brick mold around all doors & windows shall be pre-primed 1 1/4" x 2" PVC brick mold.

Exterior Siding (Alternate) – James Hardie Fiber Cement Siding, Select Cedarmill, 7 ¼" wide x 5/16" thick, white, 6" exposure. Use James Hardie matching trim in 4" x 7/16" size

DOORS – Doors shall be Reliant Steel, 6 panel, solid, factory installed in fully weatherproofed frame. Door hardware shall include both a deadbolt lock and a mortise lock set using Kwikset SmartKey system.

WATERPROOFING: Self adhering rubberized asphalt flashing tape at least 6 inch wide shall be used around all four sides of all windows and doors. Entry door threshold shall be installed using a double, 3" lapped, run of waterproofing tape.

WINDOWS – Remove four (4) windows from the existing installation to be installed in the new installation. Purchase and install two new fixed glass windows as shown on the drawings. The windows require no painting, however they will be surrounded by brick mold trim which will require caulking and painting by this contractor. New windows shall be double glazed low-E.

DRYWALL & TAPING— shall be 1/2" and shall be installed on all interior walls and ceilings All blocking needed for installation of the drywall will be by this contractor. All walls and ceilings shall be taped and textured in preparation for a smooth painted finish.

ROOFING Roof materials shall be Owens Corning Oakridge Dimensional Shingles, , Estate Gray, 30 year Warranty, applied over 1/3, lapped 15 # roofing felt. Install four (4) factory painted aluminum, black roof vents with bird/insect screens equally spaced near roof peak.

ELECTRICAL - Install all electrical as shown on Eagle Enterprises Sheet E101. Exact location of receptacles and switches shall be approved by the Owners Project Manager prior to wiring. Exhaust Fans shall be Dayton Model 1HLA4, 1736 cfm, 115v, variable speed 18' square, with automatic louvers and with Dayton Model 48C172 speed controller (in place of switch) or Owner approved equal. Breaker panel shall be as manufactured by Eaton , Type BR, flush mount (or Owner approved equal). Light fixtures shall be Portfolio FTBN Deco Wrap LED 4 ft LED fixtures.

PAINTING, CAULKING, & SEALING - All exterior siding & trim will be caulked with a silicone caulking material guaranteed for a minimum of 50-year performance. The bottom plate of the structure shall be caulked continuously on both the inside and outside interface with the concrete floor surface. Interior caulk may be latex based with a minimum 30 year warranty. Caulk joint between brick and wood brick pockets & door and window trim. All exposed wood surfaces shall be primed with two finish coats to cover. Paint suppliers may be Sherman Williams, Behr or Owner approved equal.

INSULATION (Alternate): - Provide R11 fiberglass insulation in all exterior walls and R19 in ceiling and between floors. Insulation shall be Owens Corning "Pink" with paper backing or equal

INTERIOR & EXTERIOR TRIM & SIDING –Eave overhangs will be totally enclosed and trimmed with white vinyl/ventilated soffit. **Vinyl Siding, Soffit & Trim** –. Soffit trim shall be Alside "Superspan" with aeration panels as required by code. Siding shall be Alside dutch lap "Conquest" siding with manufacturers recommended closures & trim. Fascia shall be wrapped in Alcoa, factory painted coil aluminum. Brick mold around all doors & windows shall be pre-primed 1 1/4" x 2" PVC brick mold. Interior casing moldings shall be primed 3 1/4" x 5/8" pine or MDF. Baseboard shall be 5 1/4" x 5/8" MDF.

Exterior Siding (Alternate) – James Hardie Fiber Cement Siding, Select Cedarmill, 7 1/4" wide x 5/16" thick, white, 6" exposure. Use James Hardie matching trim in 4" x 7/16" size

DOORS – Doors shall be Reliant Steel, 6 panel, solid, factory installed in fully weatherproofed frame. Door hardware shall include both a deadbolt lock and a mortise lock set using Kwikset SmartKey system.

WATERPROOFING: Self adhering rubberized asphalt flashing tape at least 6 inch wide shall be used around all four sides of all windows and doors. Entry door threshold shall be installed using a double, 3" lapped, run of waterproofing tape.

WINDOWS – Remove four (4) windows from the existing installation to be installed in the new installation. Purchase and install two new fixed glass windows as shown on the drawings. The

windows require no painting, however they will be surrounded by brick mold trim which will require caulking and painting by this contractor. New windows shall be double glazed low-E.

COUNTER TOPS & SUPPORT - Counter tops shall be installed using (3) 10 ft long continuous formica panels at each floor level cut to length. Countertops shall be supported at joints by two cabinets per floor, and a continuous 2x6 support under the front lip and a 2x4 wall support on the back side and ends (see drawing). Counter tops shall be VT Dimensions with Afton Edge, color Granito Amerelo. Center supports shall be two Diamond 35" x 36" 2 door cabinets with 8" drawer. A continuous 2" x 1" "J" Channel Wireway from CableOrganizer.com shall be mounted on the wall immediately under the rear support. Eight 2" diameter holes shall be drilled in each countertop for access to the cable tray. The Owner will provide exact location for the holes.

FINISHED FLOORING - shall be Lancaster outdoor carpet in Granite color. Carpet shall be glued to the subfloor. Coordinate baseboard and threshold installation to provide a finished appearance.

PAINTING – all wood exterior surfaces shall be painted with a quality wood primer after applying waterproof caulking at all joints. All aluminum &/or galvanized surfaces shall be primed with a primer as recommended by the top coat manufacturer. Bare steel lintels shall be cleaned and then primed with a red oxide primer prior to installation. An enamel topcoat to match existing shall be applied over all primer. The finish coat will be a premium quality, semi-gloss enamel as Manufactured by Behr.

FENCING - PERMANENT - Fencing shall be removed where necessary, reinstalled and extended to complete the layout shown on Sheet A101. A new lockable gate to match the existing fencing shall be installed at the base of the stairs to the second level.

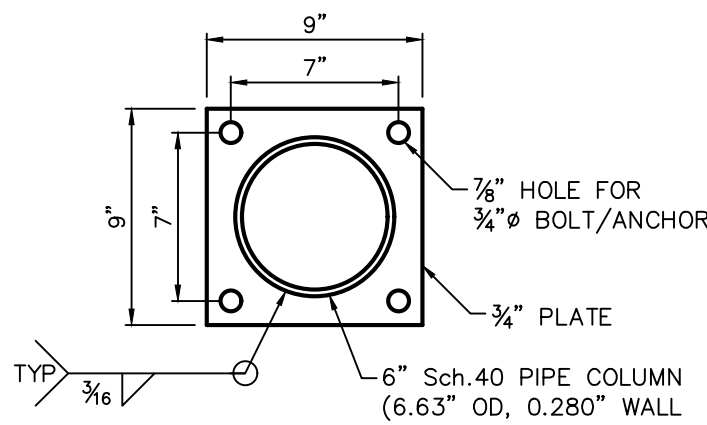
STRUCTURAL NOTES

1. GENERAL CONDITIONS
- A. The design of the structure is intended to conform with the provisions of the Building Code defined as: International Building Code, 2012 Edition.
- B. All construction techniques and practices shall conform to the same Building Code.
- C. The contractor shall verify all dimensions and conditions in the field prior to fabrication and construction. The contractor shall immediately notify the engineer of any discrepancies between the field conditions and these drawings.
- D. The design, adequacy, and safety of erection bracing are the sole responsibility of the contractor.
- E. Submit shop drawings for the following work:
- Structural Steel
 - Concrete Mix Design
 - Metal Plate Connected Wood Trusses
- F. Shop drawings shall be sealed by an engineer registered in the state where the project is located.
2. DESIGN LOADS
- A. Floors
- Live: 100 psf
 - Dead: 15 psf
- B. Roof (Metal Plate Connected Wood Trusses)
- Top Chord Live: 20 psf
 - Top Chord Dead: 15 psf
 - Bottom Chord Live: 10 psf
 - Bottom Chord Dead: 5 psf
- C. Wind
- The Main Wind Force Resisting System was designed to resist wind forces per ASCE 7-10 using the following parameters:
- Risk Category = II, Exposure Category = C, Enclosure Classification = Enclosed, End Zone Width = Minimum = 3 ft
 - Ultimate Design Wind Speed, V_{ult} (3-Second Gust) = 115 mph, V_{std} (Nominal Design Wind Speed) = $V_{ult} \sqrt{0.6}$ = 89.1 mph
 - Velocity Wind Pressure, q = 30.03 psf, G_{CP} (Internal Pressure Coef.) = ± 0.18
- D. Seismic
- The Seismic Force Resisting System was designed to resist seismic forces per ASCE 7-10 using the Equivalent Lateral Force Procedure incorporating the following parameters:
- Basic Seismic Force Resisting System = Light-frame (wood) walls sheathed with wood structural panels rated for shear resistance
 - S_s = 0.285, S_1 = 0.140, S_{ps} = 0.298, S_{ol} = 0.209, I_e (importance Factor) = 1.00, Site Class = D, Seismic Design Category = B
 - Risk Category = II, F_a = 1.57, F_v = 2.24, C_r = 0.046, R = 6 $\frac{1}{2}$, V (Base Shear) = 2.88 k
- E. Snow
- P_g (Ground Snow Load) = 10 psf
- F. Guard and Hand Railings (including their attachments) shall be capable of properly resisting the following two non-concurrent load cases:
- A single concentrated load of 200 lb acting in any direction applied to the top of the railing system.
 - A uniform load of 50 lb per foot acting in any direction applied to the top of the railing system.
3. FOUNDATION DESIGN INFORMATION
- A. Footings are to bear on undisturbed soil (or controlled fill if the Geotechnical Report permits) below the depth of the local frost line, but not less than 18" below finished grade.
- B. Where unacceptable soil is encountered during excavation, the soil shall be removed and replaced with properly compacted controlled fill per a Geotechnical Engineer's recommendations.
4. REINFORCED CONCRETE
- A. The minimum compressive strength of concrete at 28 days for Strength Design by ACI 318-11 "Building Code Requirements For Structural Concrete" shall be as follows:
- Footings: f'_c = 3,000 psi
- B. Concrete exposed to freezing and thawing shall have a maximum water/cement ratio of 0.50. All concrete subjected to deicers (and/or required to be watertight) shall have a maximum water/cement ratio of 0.45. Provide entrained air as per ACI 318-11, Table 4.4.1, "Total Air Content for Concrete Exposed to Cycles of Freezing and Thawing".
- C. When placing (pouring) all concrete, vibrate the concrete using mechanical vibrators.
- D. Reinforcing steel shall be deformed bars conforming to ASTM A615, Grade 60.
- E. Provide the following minimum concrete cover for reinforcement:
- Concrete cast directly on the ground without the use of forms: Cover = 3"
 - Concrete exposed to weather or in contact with the ground: Cover = 2"
6. STRUCTURAL STEEL
- A. All structural steel work shall conform to the AISC 360-10 "Specification for Structural Steel Buildings", 14th Edition.
- B. Angles, channels, plates, rods, and bars shall be ASTM A36 (F_y = 36 ksi), unless noted otherwise.
- C. Wide flange beams shall be ASTM A992 (F_y = 50 ksi), unless noted otherwise.
- D. Pipes shall be ASTM A53, Grade B, Type E or Type S (F_y = 35 ksi), unless noted otherwise.
- G. Bolts shall be ASTM A325, unless noted otherwise.
- H. Where ASTM A325 bolts are not available because of the required bolt length and/or thread length, use ASTM A449 bolts with a heavy hex head.
- J. Anchor bolts shall be ASTM F1554 Grade 36, unless noted otherwise.
- K. Welds shown on the structural drawings are representative and may not directly identify all welding passes required. The fabricator's drawings shall show all welds that are required. All welding shall be done by welders that are certified in the welding positions being utilized. For shop welding, use ASTM E70 electrodes. For field welding, use ASTM E70 Low-Hydrogen electrodes. Welds and welding techniques shall conform to AWS Specifications.
- L. Paint all structural steel with a high grade rust-inhibiting primer. Use red oxide primer unless otherwise noted. The compatibility of primer and any top coat shall be verified before any painting is started. Touch-up all exposed metal after field installation. All structural steel which is exposed to the elements shall receive two coats of exterior enamel which is compatible with the primed surface.
- M. Handrail and guardrail (including attachment) shall be provided where required by the Building Code, and shall meet the dimensional requirements of the Building Code and OSHA. Handrail and guardrail shall be capable of resisting the loading described above.
- N. Brick Lintels:
- Opening Less than 6'-0": Use L4x4x $\frac{1}{4}$ Loose Lintel with 4" bearing on each end.
 - Opening More than 6'-0": Use L5x5x $\frac{3}{8}$ through bolted to header with $\frac{1}{2}$ " bolts spaced @ 24" on center
7. WOOD FRAMING
- A. All solid sawn lumber (except studs) shall be Southern Yellow Pine #2, unless noted otherwise.
- B. All exterior walls and interior load-bearing walls shall be framed using 2x4 studs (SPF Stud Grade) @ 16" on center.
- C. All interior non-load-bearing walls shall be framed using 2x4 studs (SPF Stud Grade) @ 16" on center.
- D. All engineered lumber products shall be manufactured by Trus Joist or approved equal.
- E. All connectors shall be manufactured by Simpson Strong Tie, or an approved substitute.
- F. All connectors shall be installed in accordance with the manufacturer's recommendations including the installation of all hardware including anchor bolts, nails, and screws.
- G. Notch or cut engineered lumber products only within the allowable parameters established by the manufacturer.
- H. Install all engineered lumber products in accordance with the manufacturer's recommendations.
- J. Floor decking shall be tongue and groove $\frac{3}{4}$ " plywood or OSB, glued and nailed (or screwed) to the floor framing.
- K. Roof decking shall be $\frac{3}{8}$ " plywood (or OSB).
- L. Sheath all exterior walls using $\frac{1}{2}$ " Structural I sheathing (plywood or OSB).
- M. Connect sheathing to wall framing with 10d nails spaced at 3" on center around all panel edges. Use 8d nails spaced at 6" on center in the panel interior. Where panels are applied to both faces of an exterior wall, panel joints shall be offset to fall on different framing members. Nails at all panel edges shall be staggered.
- N. Provide solid blocking beneath all point loads.
- P. Wall Headers:
- Opening Less than 5'-0": Use Triple 2x6
- Q. All lumber in contact with concrete or masonry shall be pressure treated.
- R. Metal plate connected wood trusses shall be supplied with appropriate uplift hardware and hangers.
- T. Metal plate connected wood trusses shall be manufactured, installed, and braced in accordance to the recommendations of the Truss Plate Institute.
- V. Metal plate connected wood trusses shall be designed by an engineer licensed in Tennessee. The truss calculations and the truss layout(s) shall be sealed by the engineer, and must incorporate in the design appropriate loading per the Building Code.

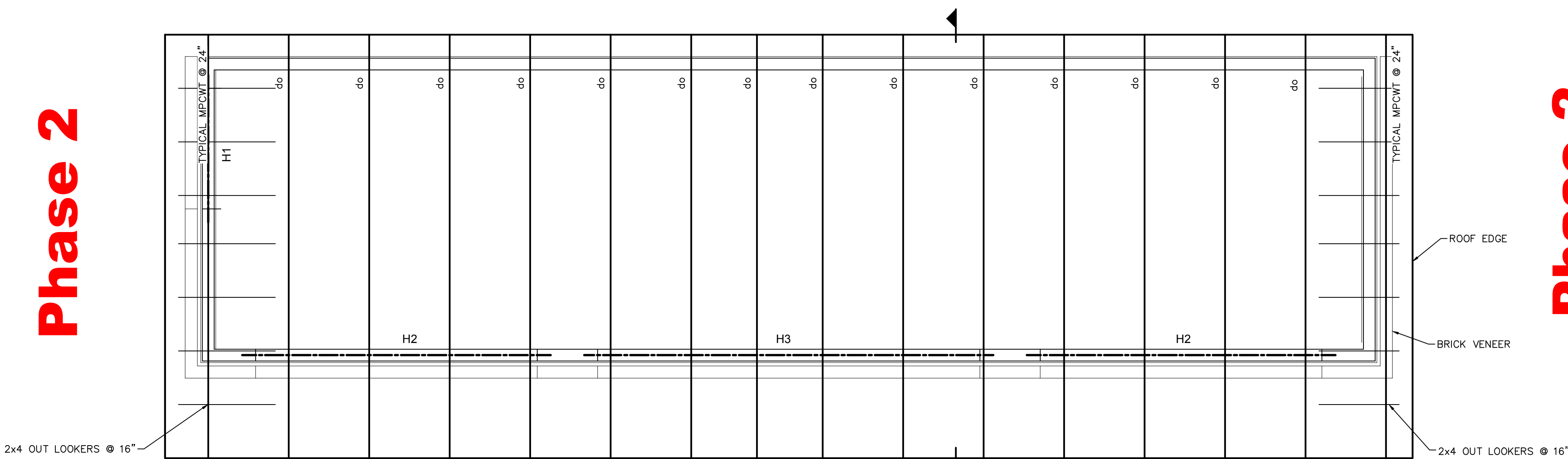
STATEMENT OF SPECIAL INSPECTIONS (IBC 2012)

THE OWNER SHALL EMPLOY SPECIAL INSPECTORS TO PROVIDE INSPECTIONS DURING CONSTRUCTION AS DESCRIBED BELOW.

1. INSPECTION OF FABRICATORS (Structural Steel, Metal Plate Connected Wood Trusses, Pre-Engineered Metal Building, etc.)
- A. If the fabricator IS NOT APPROVED (IBC Section 1704.2.5.2), then special inspections shall be performed of the fabricated items on the premises of the fabricator's shop and on the fabricator's "Fabrication and implementation procedures" (IBC Section 1704.2.5.1).
- B. If the fabricator IS APPROVED (IBC Section 1704.2.5.2), then special inspections are not required, but the approved fabricator shall submit a "certificate of compliance" to the building official.
2. STRUCTURAL STEEL
- Special inspections and non-destructive testing of structural steel shall be in accordance with the quality assurance inspection requirements of AISC 360-10, Chapter N.

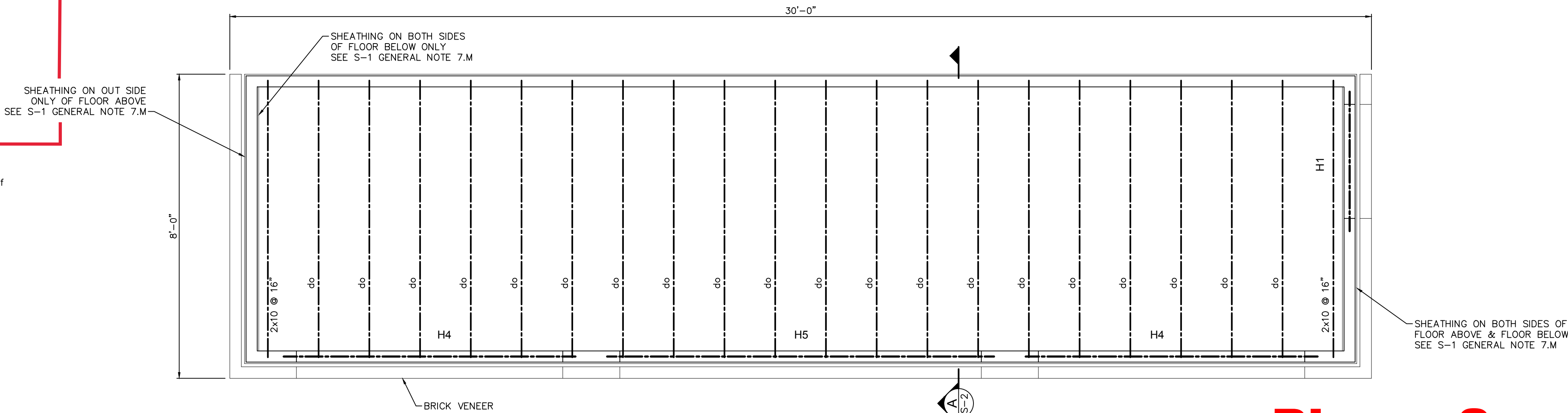


TYPICAL 3/4" PLATE
SCALE: 1 1/2" = 1'-0"

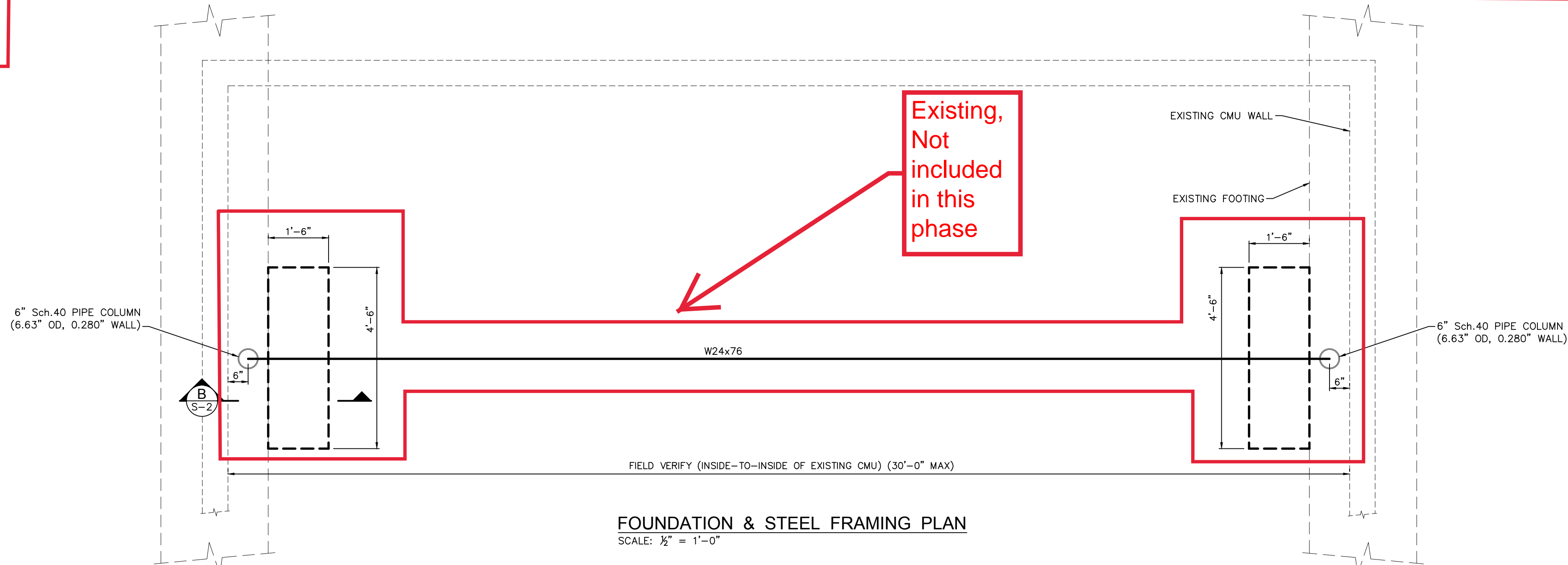


ROOF FRAMING PLAN
SCALE: 1/2" = 1'-0"

HEADER SCHEDULE		
MARK	SIZE	BEARING
H1	DOUBLE 2x6	1 1/2"
H2	DOUBLE 2x8	1 1/2"
H3	DOUBLE 2x12	1 1/2"
H4	2-PLY 9 1/2" LVL	3"
H5	2-PLY 11 3/8" LVL	3"



SECOND FLOOR FRAMING PLAN
SCALE: 1/2" = 1'-0"



FOUNDATION & STEEL FRAMING PLAN
SCALE: 1/2" = 1'-0"

Only areas marked as Phase 2 on this drawing are included in this Phase

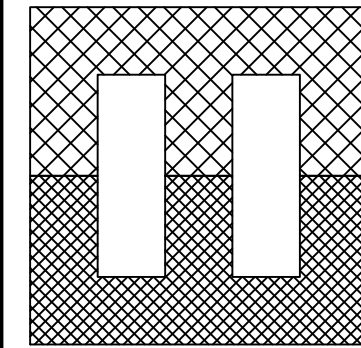
Phase 2

Phase 2

Revisions
7/11/2016
Hendersonville High School
Quarterback Club
123 Cherokee Dr.
Hendersonville, Tn 37075

Hendersonville High School
Football Stadium Press Box
123 Cherokee Drive
Hendersonville, TN 37075

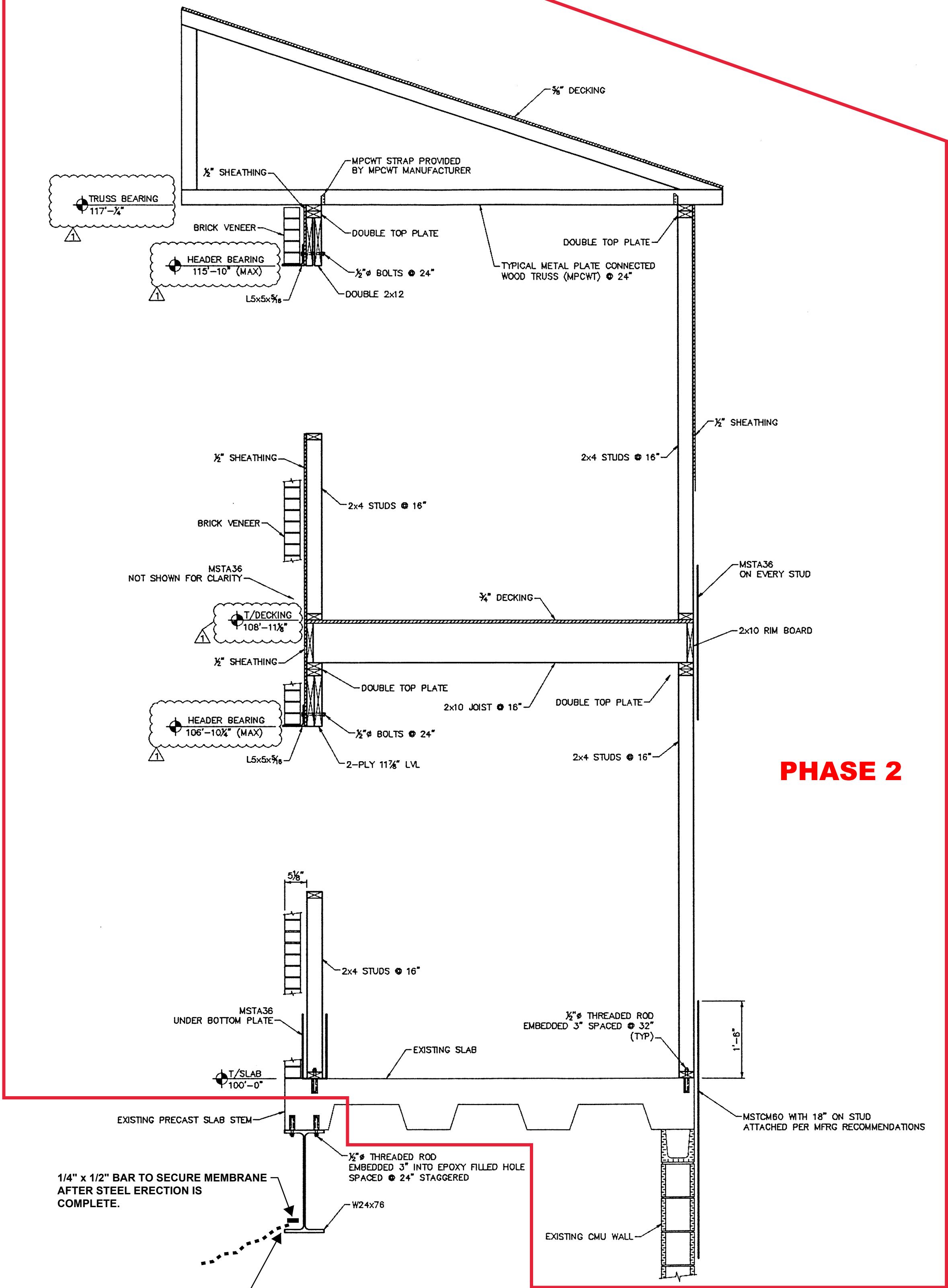
7/11/2016
ELROD
ENGINEERING
871 Seven Oaks Blvd., Suite 220
Smyrna, TN 37167
866-399-5111



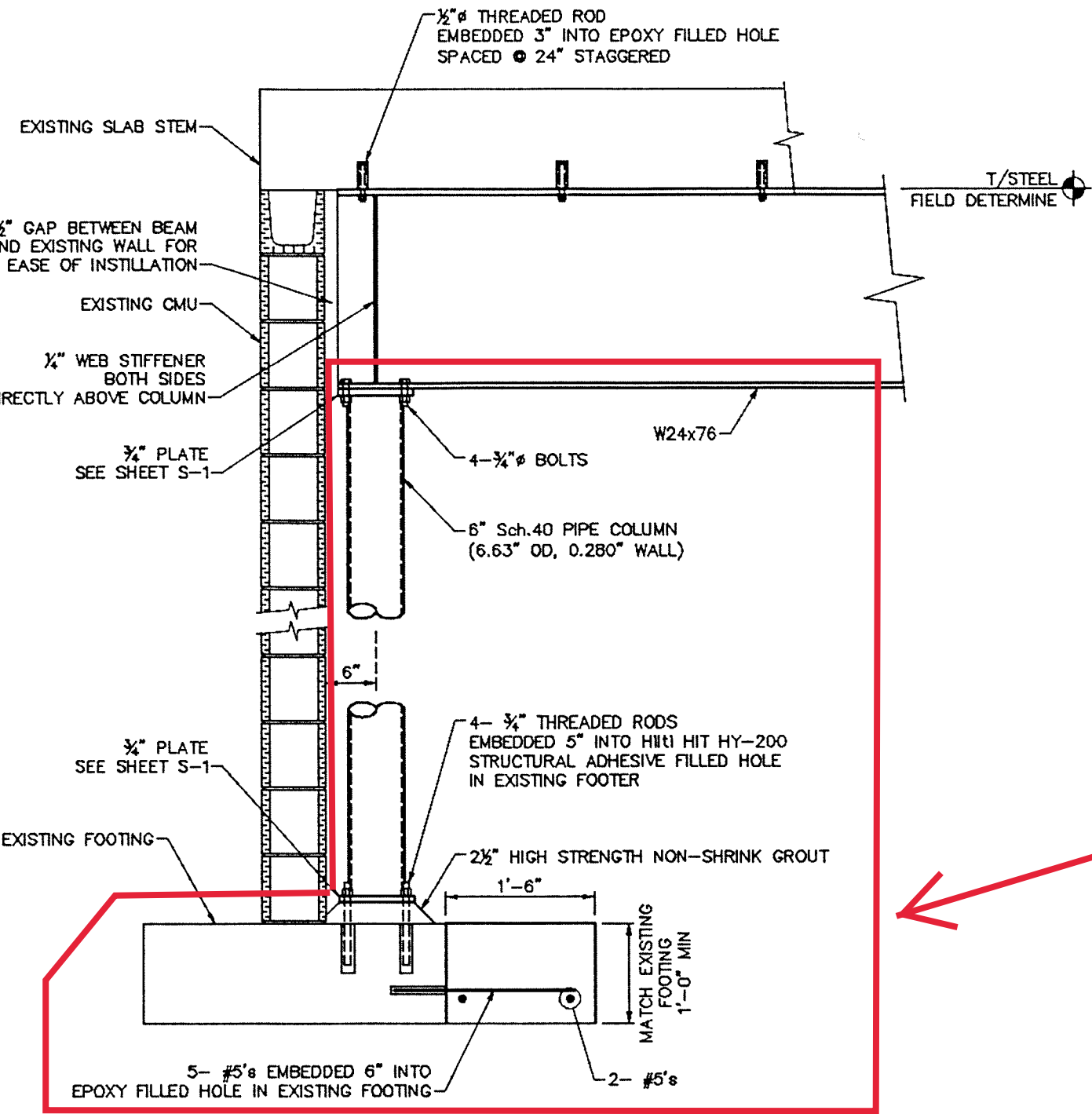
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Checked WML
EE Job# 500.00386
Filename HHS PressBox.STR
Issued 7/06/2016

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Only items marked Phase 2 on this page are included.

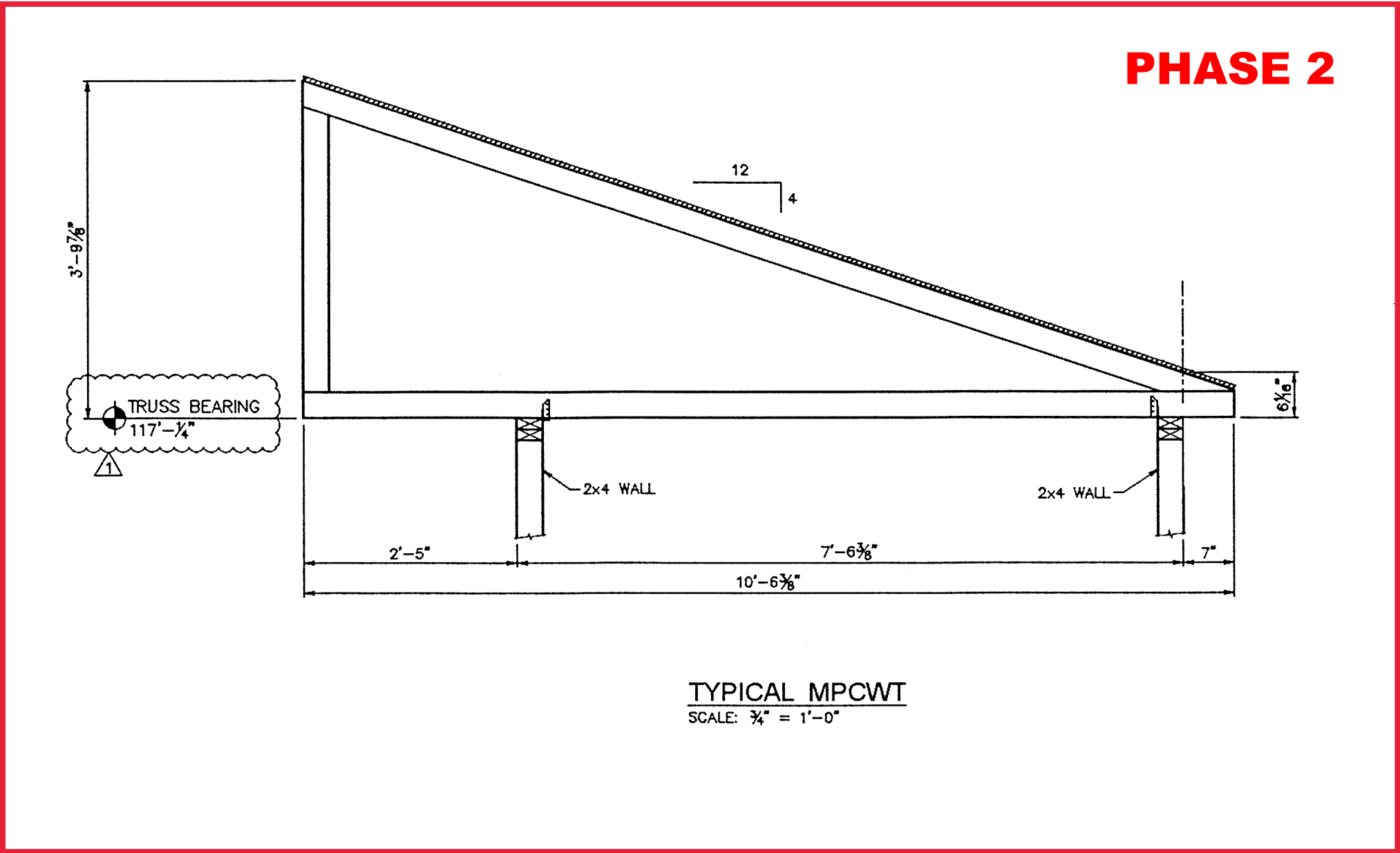


SECTION
SCALE: 3/4" = 1'-0" (A)



SECTION
SCALE: 3/4" = 1'-0" (B)

Already installed



TYPICAL MPCWT
SCALE: 3/4" = 1'-0"

Revisions	
7/11/2016	

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Drawn	PTG
Checked	WML
EE Job #	500.00386
Filename	HHS PressBox.STR
Issued	7/06/2016

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