

20170413-BOE  
**HHS PRESS BOX RENOVATION**

Sumner County Board of Education, 1500 Airport Road, Gallatin, TN 37066 for Responses to an Invitation to Bid will be received by the Purchasing Department, 20170413-BOE for renovations to the football press box at Hendersonville High School until April 13, 2017 2:00 p.m. local time. Sealed bid responses will be opened at that time, taken under advisement and evaluated. Any specific questions should be directed to Joe Bibeau at 615-829-2410 ([joe@eagle-ent.net](mailto:joe@eagle-ent.net)) or Don Long at (615) 815-8347 ([don.long@sumnerschools.org](mailto:don.long@sumnerschools.org)) Proposals are subject to the Board of Education's conditions and specifications, which are available from Janice Wright, Purchasing Coordinator (615) 451-5255. All bids can be viewed on line at [www.sumnerschools.org](http://www.sumnerschools.org); Invitation for Bids under Helpful Links at the bottom of the Home Page.

## **NOTICE TO RESPONDENTS**

Responses to an Invitation to Bid will be received by the Purchasing Coordinator in the SUPPORT SERVICE FACILITY CONFERENCE ROOM, Sumner County Board of Education, 1500 Airport Road Gallatin, TN 37066. They will be received until **2:00 P.M. Local Time Tuesday APRIL 13, 2017** for **20170413-BOE Press Box** at which time the sealed bid responses will be opened, taken under advisement and evaluated. **BIDS WILL BE POSTED ON [www.sumnerschools.org](http://www.sumnerschools.org)**

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## **GENERAL REQUIREMENTS AND CONDITIONS**

1. The Sumner County Board of Education reserves the right to accept or reject any and/or all responses in whole or in part, and to waive informalities therein.
2. Any responses received after the scheduled closing time for the receipt for responses will not be considered.
3. If a mistake is discovered after the responses are received, only the Sumner County Board of Education may allow the respondent to withdraw the entire response.
4. The Owner or Owner's designee shall approve partial payments, submitted as monthly payment applications, provided work completed is satisfactory. Terms will be net 30 days.
5. Payment will not be made until the said **Press Box** has been inspected and approved as meeting all specifications by persons appointed by the Sumner County Board of Education for Partial and Final Payments.
6. Responses submitted must be in a sealed envelope and marked on the outside as follows:

### **RESPONSE: HHS Press Box**

**DEADLINE: April 13, 2017 2:00 P.M. LOCAL TIME**

7. Facsimile responses will not be considered.
8. If a successful bidder violates any terms of their bid, the contract, school board policy or any law they may be disqualified from bidding for a period of two years for minor violations or longer for major violations. Bids from disqualified bidders will not be accepted during the period of disqualification.
9. Prices quoted on the response (if any) are to be considered firm and binding for sixty (60) days.
10. No purchase or contract is authorized or valid until the issuance of a Board Purchase Order in accordance with Board Policy. No Board Employee is authorized to purchase equipment, supplies or services prior to the issuance of such a Purchase Order.
11. Any deviation from these stated terms, specifications and conditions must be coordinated with and approved in writing by the Purchasing Coordinator, Janice Wright (615) 451-5255.
12. All bids that exceed \$25,000 must have the Company Name, License Number, Expiration Date thereof and License Classification of Contractor listed on outside of sealed envelope. As required by State of Tennessee Code Annotated 62-6-119.
13. The awarded bidder will be required to post a performance and payment bond in the amount of 25% of the contract price if it exceeds \$100,000 as stated by State of Tennessee Code Annotated 12-4-201.
14. If the project cost in excess of \$25,000 a performance bond must be secured by the requesting party in an amount equal to the market improvement value.

# **Sumner County Schools**

## **Press Box Renovation**

### **GENERAL SCOPE OF WORK**

**A.** Provide all equipment and materials, and do all work necessary to renovate the Football Press Box, as specified herein. The existing Press Box is located atop the home side bleachers of the football field for Hendersonville High School, 123 Cherokee Road, Hendersonville TN 37075.

**B.** This project is being primarily funded through revenue provided by the Commando Football Parent Booster Club. This project is divided into two phases:

- Phase One is to provide the structural basis for the press box
- Phase Two is for the construction of the press box.
- Interested bidders will have the opportunity to bid on Phase One only, Phase Two only, Phases One and Two as separate projects, and a combined project where Phases One and Two will be treated as a single project.
- The Owner will have the opportunity to select as two separate projects a Phase One bid or a Phase Two bid; or a bid for the work as a single project determined by what is in the best interest of the Owner.
- The bid for the project to be awarded as a single project ***does not require*** that amount to be equal to the sum of any bidder's Phase One bid and Phase Two bid. This will provide the opportunity for any bidder to determine if they choose to reduce the combined bid with their goal to provide a more attractive bid, or they may choose to have their bid equal to their Phase One and Two bids.

### **1.1 SUBMITTALS**

#### **A. Signed Bid Form**

#### **B. References**

Bidder shall submit references of no less than three previous clients, including full contact information, which shall be included with the bid.

### **1.2 QUALITY ASSURANCE**

**A.** A one-year warranty backed by the selected bidder for materials and workmanship will be required. The warranty date shall begin upon a Notice of Substantial Completion being provided from the Owner to the selected Bidder.

**B.** All local codes will govern.

### **1.3 PRE-BID MEETING**

- A.** A non-mandatory pre-bid meeting will be held on Thursday, March 30, 2017 at 2:00 P.M. local time at the football stadium of Hendersonville High School located at 123 Cherokee Road, Hendersonville TN 37075.

### **1.4 PROJECT SCHEDULE**

- A.** If an acceptable bid(s) is received, a recommendation will be made to the Sumner County Board of Education for approval at their April 18, 2017 regular meeting. If approved, a notice to proceed will be provided to the successful bidder upon the execution of AIA Document A101-2007 Standard Form Agreement Between Owner and Contractor document, any required bonds as specified herein, and Certificate of Liability Insurance are provided to the Owner.
- B.** Project completion shall be on, or before, August 1, 2017. Liquidated damages in the amount of \$500 per day shall be assessed for every day past the project completion date not approved in writing by the owner.

**BID FORM**  
for  
**Hendersonville High School Stadium**  
**Announcer & Press Box Renovation**  
**123 Cherokee Road**  
**Hendersonville, Tennessee, 37075-3701**

**Owner's Representative:**  
Sumner County Board of Education, Don Long, Sr. Project Manager  
615-815-8347  
**Project Manager:**  
Eagle Enterprises of TN LLC, Joseph C, Bibeau, Owner  
615-829-2410

Contractor Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Telephone: \_\_\_\_\_  
E-mail Address: \_\_\_\_\_  
Contractor License Number: \_\_\_\_\_  
Workman's Compensation Policy #: \_\_\_\_\_  
Builder's Risk Insurance Policy #: \_\_\_\_\_

NOTE: Copies of current insurance policies must be provided prior to starting work.

**IMPORTANT NOTE:** In order to assure all bids are equitably compared, the Contractor must submit his proposal on this form. The Contractor may bid Phase 1, or Phase 2, or both.

**LUMP SUM BID** shall include all material, labor, overhead, profit, permits, insurance, cleanup costs, etc. necessary to complete the job as specified herein & as shown on the attached drawings. The LUMP SUM BID shall not include cost for items identified as WORK BY OTHERS.

**LUMP SUM BID:**                      Phase 1 \$\_\_\_\_\_.00                      Phase 2 \$\_\_\_\_\_.00  
   Phase 1 & 2 \$\_\_\_\_\_.00

**BID BREAKDOWN:** This breakdown is to be used to validate that the contractor understands the scope of work. It is not intended to be used as a deduct price. Overhead and profit should be distributed across the sub price items such that the sum of the individual items will equal the Lump Sum Bid.

Demolition	\$_____
Framing, windows, doors, stairs & railings, all exterior & interior trim, and counters, flooring	\$_____
Drywall and taping	\$_____
Roofing & Insulation	\$_____
Electrical	\$_____
Painting, caulking, & sealing	\$_____
Fencing	\$_____
General Conditions - insurance, bonds, safety barriers, permits, etc.	\$_____

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**CONTRACTOR INITIATED ALTERNATES (OPTIONAL):** The purpose of this section is for the Contractor to offer any adjustments to the LUMP SUM BID which may benefit the Owner and make the Contractor's bid more appealing. The Contractor's ideas will **not** be shared with other bidders prior to award. The Contractor's creativity may make the difference in who is selected as the successful bidder.

ALTERNATE:	PRICE ADJUSTMENT
1) _____	\$ _____ .00
2) _____	\$ _____ .00

**OWNER ALTERNATES**

- 1) Provide & install fiber cement siding in lieu of vinyl siding on the west exterior wall of the structure  
ADD \$ \_\_\_\_\_
- 2) Replace wood framed ship ladder stairs & railings to second floor with aluminum-fabricated stairs with non-skid expanded metal treads.  
ADD \$ \_\_\_\_\_

**DRAWINGS INCLUDED:**

PHASE 1: (Marked Up as Phase 1)

Elrod Engineering #500.00386 - Sheet S1

Elrod Engineering #500.00386 - Sheet S2

PHASE 2:

Elrod Engineering #500.00386 - Sheet S1

Elrod Engineering #500.00386 - Sheet S2

Eagle Enterprise A101 - Plan View & Elevations

Eagle Enterprise D101 - Details

Eagle Enterprise E101 - Electrical

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## **Specification for Announcer & Press Box Renovation**

**GENERAL** – All work must comply with all local, state, & national codes at no additional cost to the Owner. Installation of material shall be installed to the material manufacturer's recommendations &/or specifications unless written deviation is obtained from the Project Manager. All work shall be completed in a professional and workmanlike manner.

All trade specific permits will be applied for and paid for by the Contractor. The Owner will provide & pay for the Building Permit.

### **SPECIAL CONDITIONS:**

1) The Owner shall have the right to inspect all concealed work before it is covered (i.e., rebar, forming, insulation, foundation sealing, rough plumbing and wiring, etc.). If the Owner, or Project Manager, does not respond within 48 hours of written notification, the Contractor may proceed.

2) The Contractor shall specify all critical materials selection decision dates, if any, within 1 week after award of the contract. The completion date should not exceed August 1, 2017.

3) Payments will be made on a progressive monthly basis. Monthly invoices should include a breakdown of the invoice in % complete by subcontract & by major self-performed activity. Payments will not be made until all Lien Releases are received from subcontractors for payments previously paid. All pay applications shall be submitted to the Project Manager for review and certification. The Project Manager shall then submit to the Owner for payment processing. The Final Payment will not be released until the Owner receives lien releases for all work and all materials supplied by significant contractors & suppliers and a Notice of Completion has been filed with the local governing authority.

4) All materials and debris generated by this Contractor's construction activity shall be removed from the site by this Contractor

### **WORK BY OTHERS:** Signs & structural steel footings

### **WORK INCLUDED - PHASE 1:**

Fabricate and install structural steel columns and main support beam as shown on Elrod Engineering Job #500.00386, sheet S1 & S2 as marked up for Phase 1. Provide non-shrink base plate grout as shown on drawings. Cut & temporarily roll back drip protection membrane at ceiling to install beam. Re-attach membrane to beam upon completion to maintain drip protection.

### **WORK INCLUDED - PHASE 2:**

**DEMOLITION** - demolish the existing announcer's booth and remove all unusable materials from site.

**FRAMING**– all framing shall be by this contractor. All lumber shall be new, kiln dried pine, #2 or better. Nailing practices and sizes must be to code. Wall studs shall not exceed 16" on center. Wrap entire structure with 6" overlapped Tyvek house wrap.

**BRICK/MASONRY** - Install all brick on the north, south, and east side of the structure. Brick & mortar shall match the brick & Type N mortar presently installed on the sides of the bleachers. Provide corrugated brick ties to the framing every two courses, 2 ft on center. Provide 3 1/2" x 3 1/2" x 1/4" red oxide primed steel lintels above all window and door openings. Acid wash upon completion.

**DRYWALL & TAPING**— shall be 1/2" and shall be installed on all interior walls and ceilings All blocking needed for installation of the drywall will be by this contractor. All walls and ceilings shall be taped and textured in preparation for a smooth painted finish.

**ROOFING** Roof materials shall be Owens Corning Oakridge Dimensional Shingles, , Estate Gray, 30 year Warranty, applied over 1/3, lapped 15 # roofing felt. Install four (4) factory painted aluminum, black roof vents with bird/insect screens equally spaced near roof peak.

**ELECTRICAL** - Install all electrical as shown on Eagle Enterprises Sheet E101. Exact location of receptacles and switches shall be approved by the Owners Project Manager prior to wiring. Exhaust Fans shall be Dayton Model 1HLA4, 1736 cfm, 115v, variable speed 18' square, with automatic louvers and with Dayton Model 48C172 speed controller (in place of switch) or Owner approved equal. Breaker panel shall be as manufactured by Eaton , Type BR, flush mount (or Owner approved equal). Light fixtures shall be Portfolio FTBN Deco Wrap LED 4 ft LED fixtures.

**PAINTING, CAULKING, & SEALING** - All exterior siding & trim will be caulked with a silicone caulking material guaranteed for a minimum of 50-year performance. The bottom plate of the structure shall be caulked continuously on both the inside and outside interface with the concrete floor surface. Interior caulk may be latex based with a minimum 30 year warranty. Caulk joint between brick and wood brick pockets & door and window trim. All exposed wood surfaces shall be primed with two finish coats to cover. Paint suppliers may be Sherman Williams, Behr or Owner approved equal.

**INSULATION (Alternate):** - Provide R11 fiberglass insulation in all exterior walls and R19 in ceiling and between floors. Insulation shall be Owens Corning "Pink" with paper backing or equal

**INTERIOR & EXTERIOR TRIM & SIDING** –Eave overhangs will be totally enclosed and trimmed with white vinyl/ventilated soffit. **Vinyl Siding, Soffit & Trim** –. Soffit trim shall be Alside "Superspan" with aeration panels as required by code. Siding shall be Alside dutch lap "Conquest" siding with manufacturers recommended closures & trim. Fascia shall be wrapped in Alcoa, factory painted coil aluminum. Brick mold around all doors & windows shall be pre-primed 1 1/4" x 2" PVC brick mold. Interior casing moldings shall be primed 3 1/4" x 5/8" pine or MDF. Baseboard shall be 5 1/4" x 5/8" MDF.

**Exterior Siding (Alternate)** – James Hardie Fiber Cement Siding, Select Cedarmill, 7 1/4" wide x 5/16" thick, white, 6" exposure. Use James Hardie matching trim in 4" x 7/16" size

**DOORS** – Doors shall be Reliant Steel, 6 panel, solid, factory installed in fully weatherproofed frame. Door hardware shall include both a deadbolt lock and a mortise lock set using Kwikset SmartKey system.

**WATERPROOFING:** Self adhering rubberized asphalt flashing tape at least 6 inch wide shall be used around all four sides of all windows and doors. Entry door threshold shall be installed using a double, 3" lapped, run of waterproofing tape.

**WINDOWS** – Remove four (4) windows from the existing installation to be installed in the new installation. Purchase and install two new fixed glass windows as shown on the drawings. The



windows require no painting, however they will be surrounded by brick mold trim which will require caulking and painting by this contractor. New windows shall be double glazed low-E.

**COUNTER TOPS & SUPPORT** - Counter tops shall be installed using (3) 10 ft long continuous formica panels at each floor level cut to length. Countertops shall be supported at joints by two cabinets per floor, and a continuous 2x6 support under the front lip and a 2x4 wall support on the back side and ends (see drawing). Counter tops shall be VT Dimensions with Afton Edge, color Granito Amerelo. Center supports shall be two Diamond 35" x 36" 2 door cabinets with 8" drawer. A continuous 2" x 1" "J" Channel Wireway from CableOrganizer.com shall be mounted on the wall immediately under the rear support. Eight 2" diameter holes shall be drilled in each countertop for access to the cable tray. The Owner will provide exact location for the holes.

**FINISHED FLOORING** - shall be Lancaster outdoor carpet in Granite color. Carpet shall be glued to the subfloor. Coordinate baseboard and threshold installation to provide a finished appearance.

**PAINTING** – all wood exterior surfaces shall be painted with a quality wood primer after applying waterproof caulking at all joints. All aluminum &/or galvanized surfaces shall be primed with a primer as recommended by the top coat manufacturer. Bare steel lintels shall be cleaned and then primed with a red oxide primer prior to installation. An enamel topcoat to match existing shall be applied over all primer. The finish coat will be a premium quality, semi-gloss enamel as Manufactured by Behr.

**FENCING - PERMANENT** - Fencing shall be removed where necessary, reinstalled and extended to complete the layout shown on Sheet A101. A new lockable gate to match the existing fencing shall be installed at the base of the stairs to the second level.



# Phase 2



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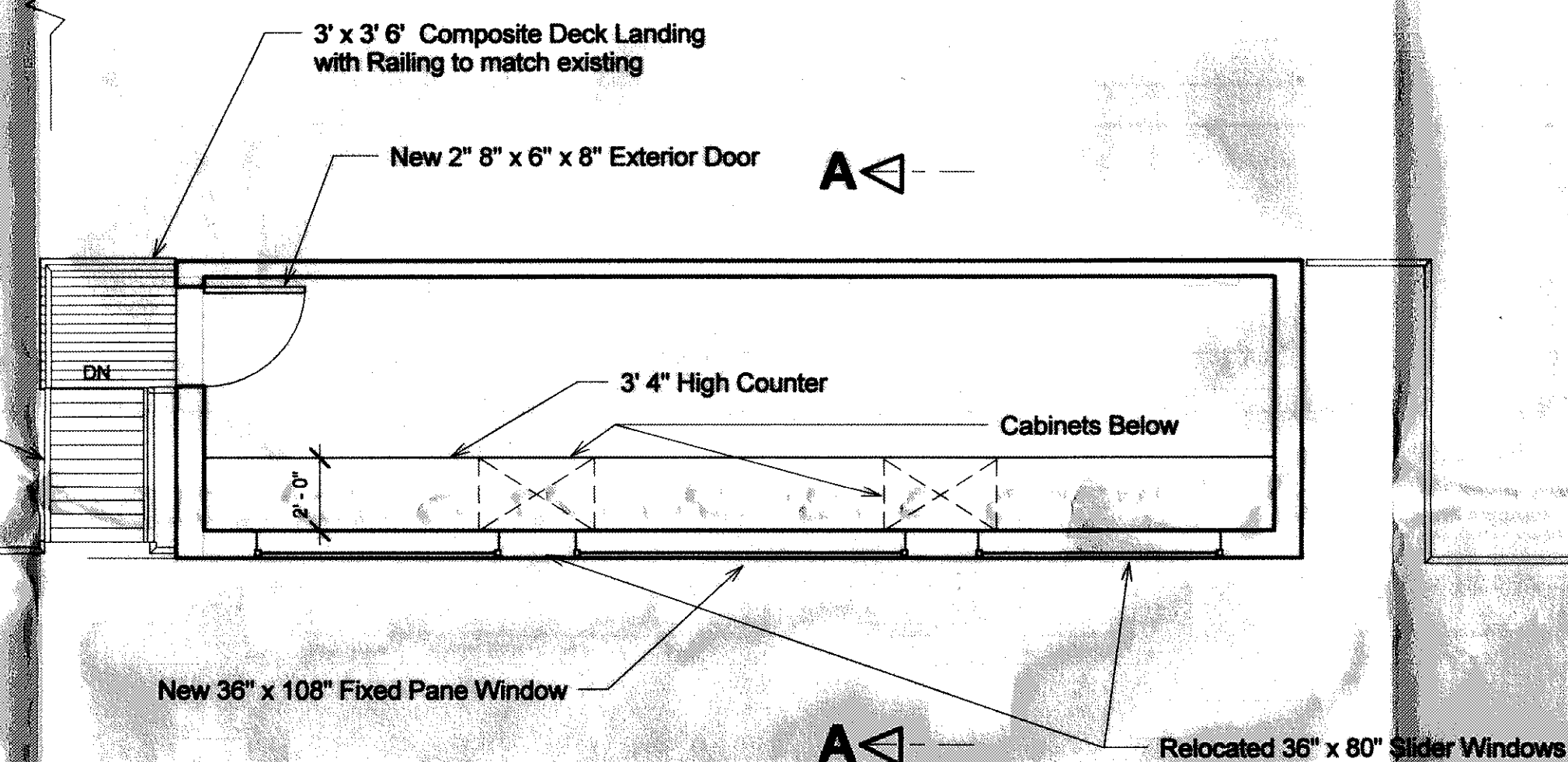
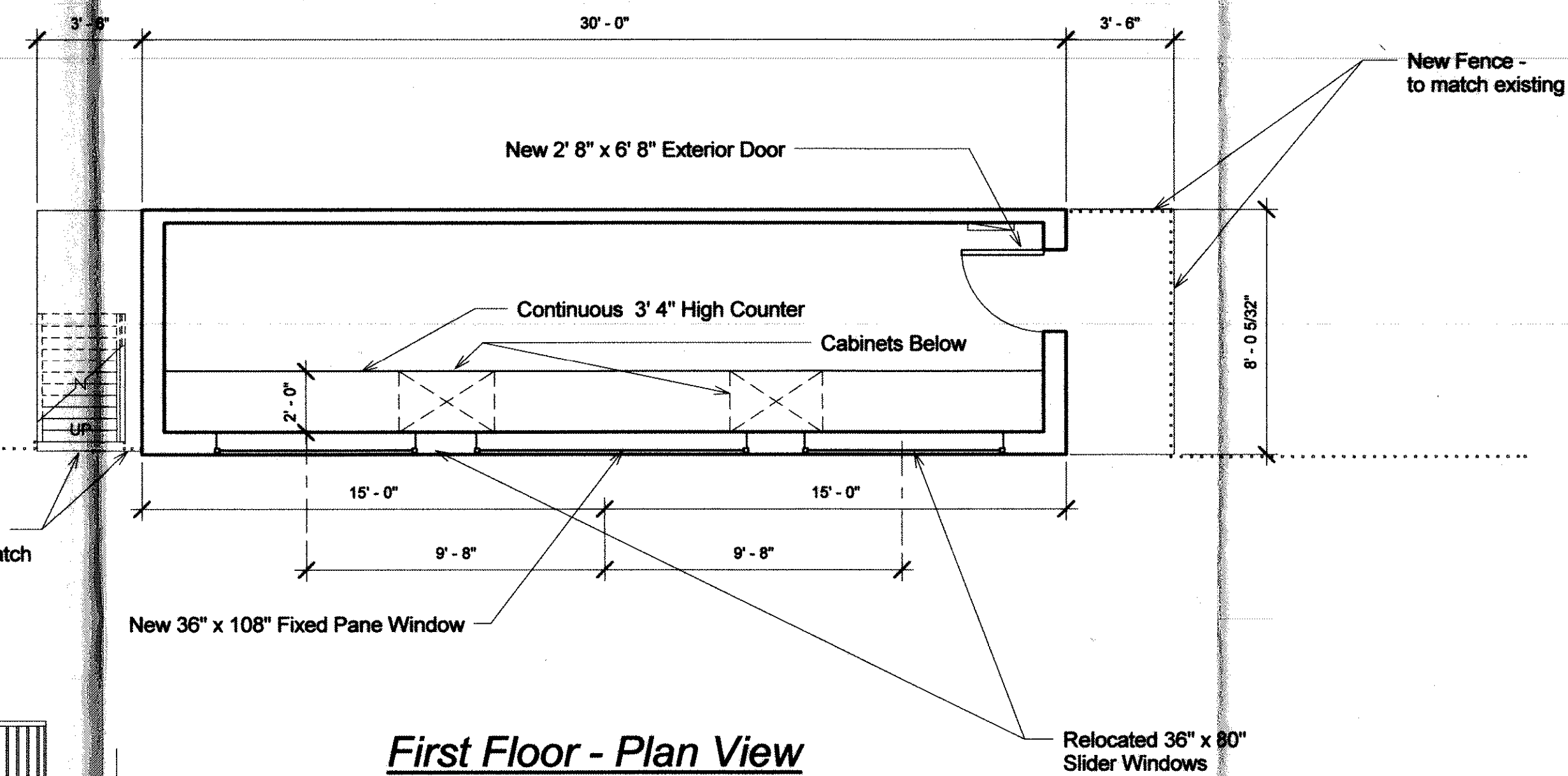
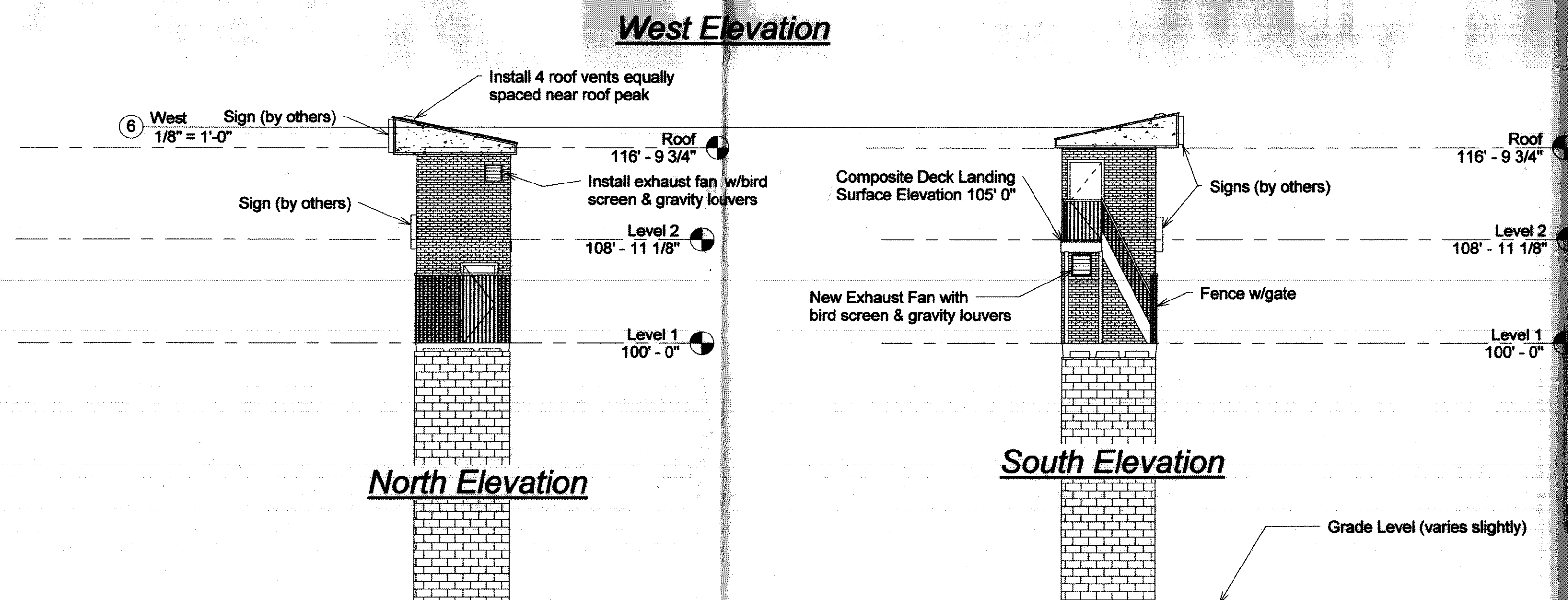
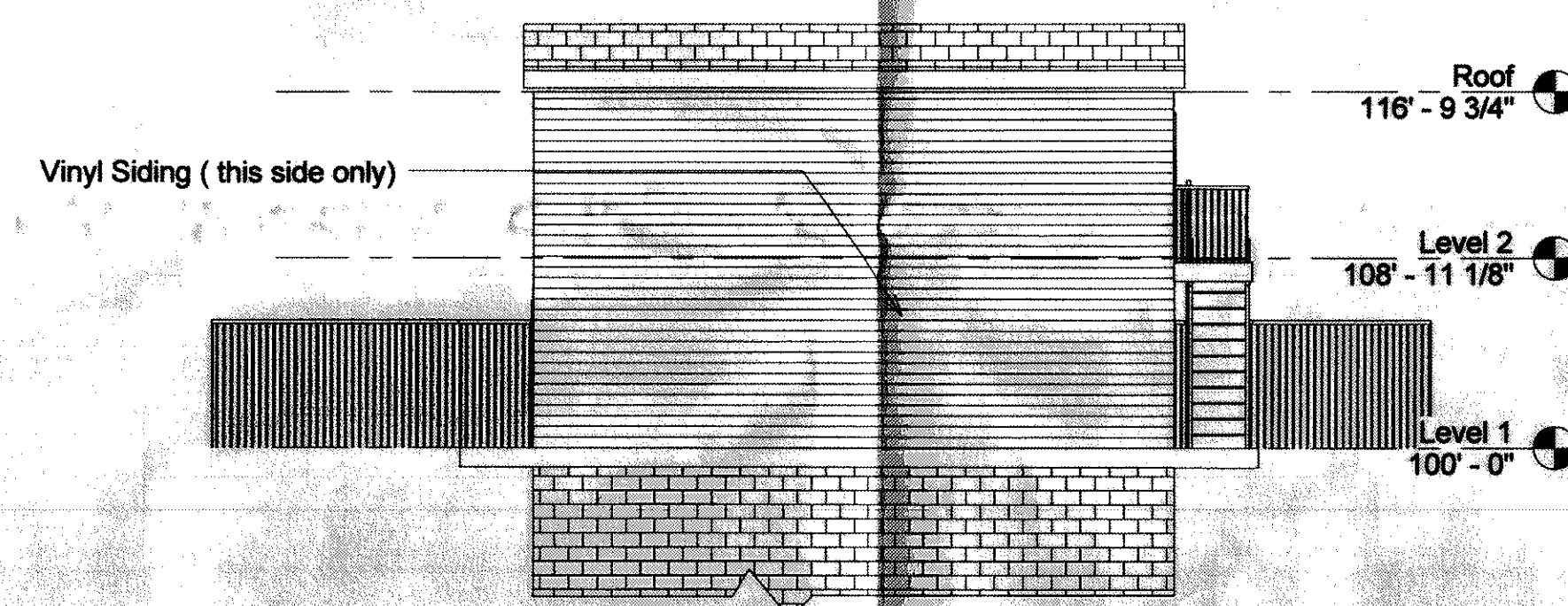
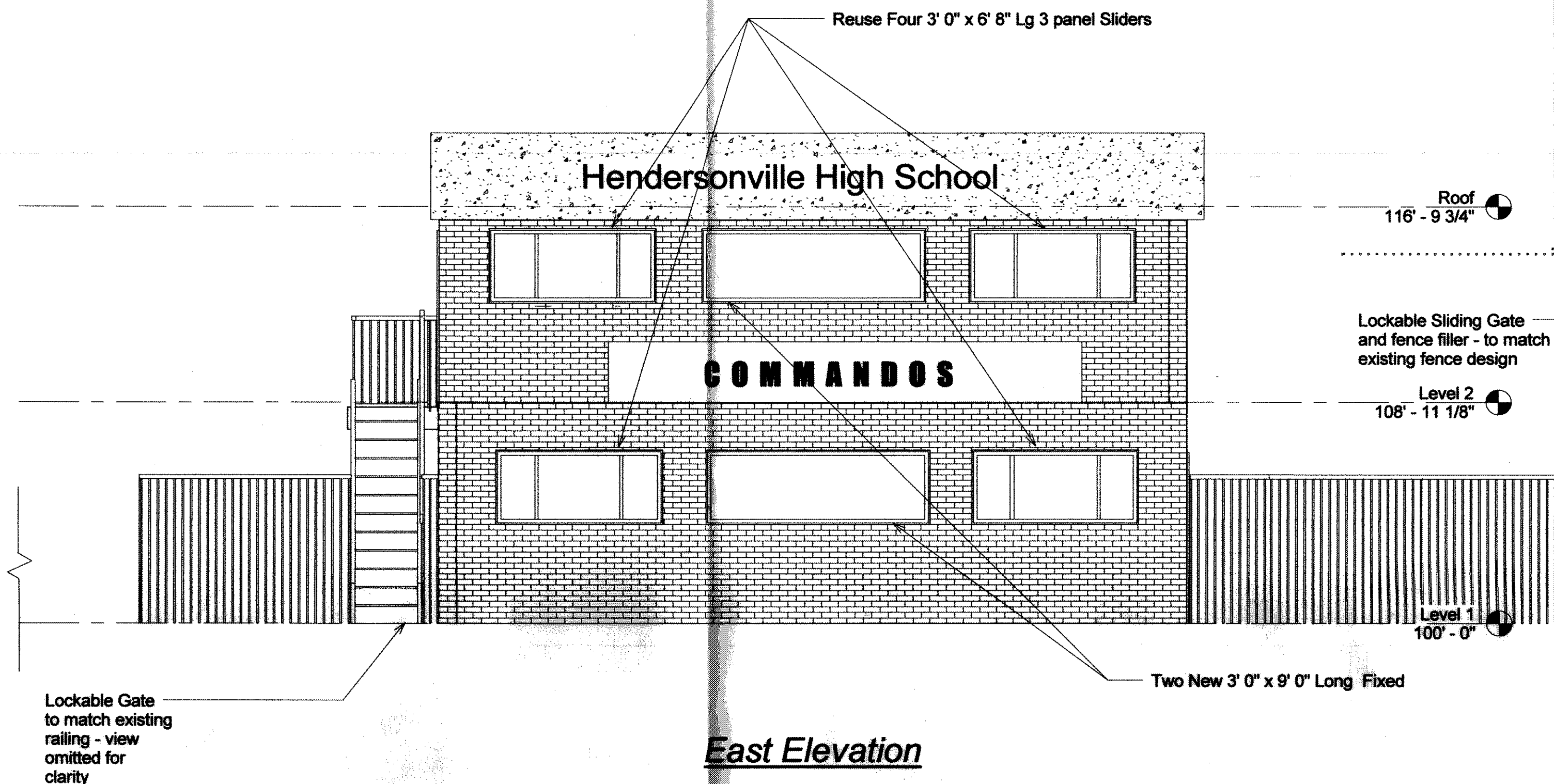
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## HHS Commando

## Quarterback Club

## Plan & Elevation View

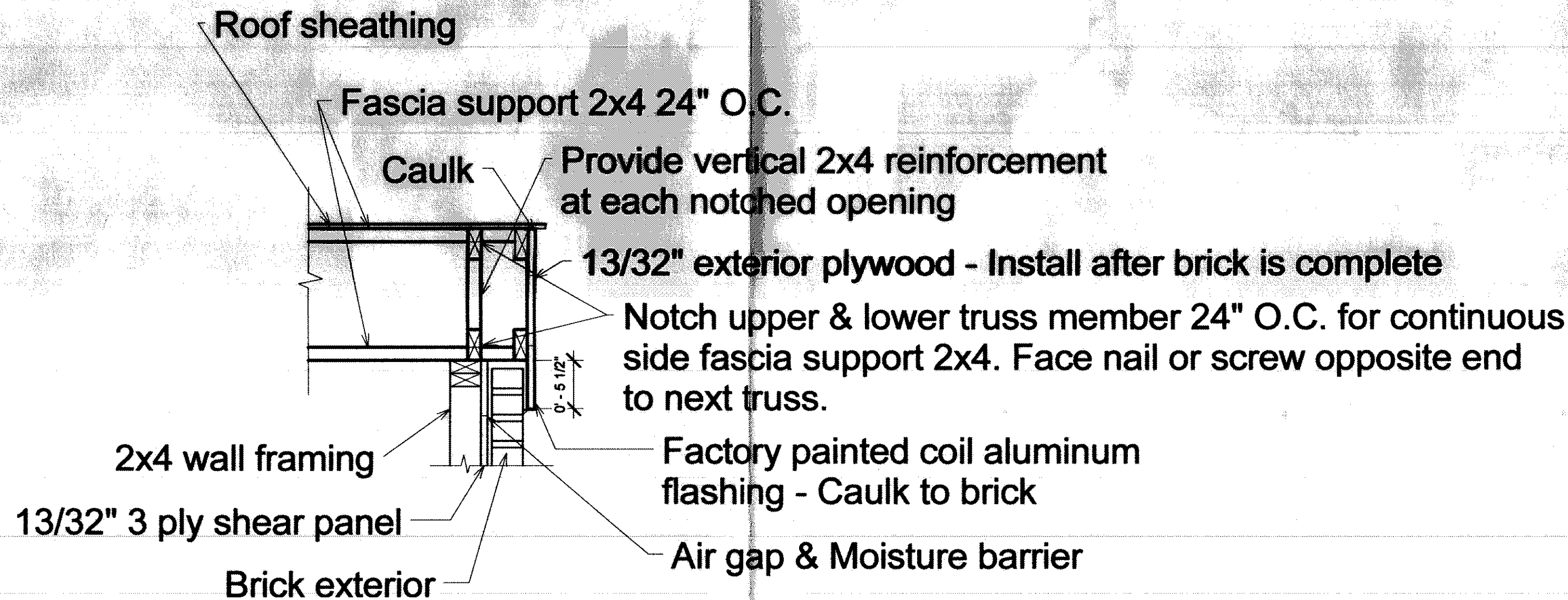
Project number	Project Number
Date	2-9-2016
Drawn by	Author
Checked by	Don Long
A101	
Scale	As indicated



- 1) All work must comply with all local, state, and national building and electrical codes. The Contractor must comply with safety and work rules of the Sumner County Board of Education and the laws of the State of Tennessee
- 2) All work must be performed in a professional manner to accepted industry quality standards. Materials must be installed in compliance with the manufacturer's recommendation.
- 3) Acceptable safety barricades must be in place at all times. Approved fall protection must be used whenever a worker is within 5 feet of an area with a drop exceeding 4 feet.
- 4) The Contractor is responsible for insuring no hazards exist as a result of this construction activity which might endanger students, faculty, or guests.
- 5) All work must conform to the **"Specifications & General Conditions for the Hendersonville High School Stadium Announcers & Press Box Renovation"**.
- 6) All exterior wood shall be prime painted white and finished with one coat of premium exterior, oil based enamel.
- 7) Caulk all bottom sill plate exterior seams inside and out with a 50 year guaranteed caulking compound.
- 8) Provide 6" deep brick pockets at the top of the masonry wall on the front (east) and both sides (north & south). Brick installation which match the existing stadium walls and will be by others.
- 9) Interior shall be 1/2" sheetrock on all walls and ceilings, taped, coated, and sanded to a smooth finish.
- 10) Doors, windows, and fan openings shall be provided with 1 1/4" x 2" PVC brick mold trim on the exterior and 3 1/2" x 5/8" primed pine case molding on the interior surfaces. Baseboard shall be 3 1/4" x 9/16" PVC on both floors.
- 11) Finished flooring will be provided by others.
- 12) Roof shingles shall be a minimum 30 year guaranteed, asphalt, dimensional shingle in charcoal color over 15# roofing paper as made by GAF or Owner approved equal.
- 13) Formica counter tops shall be installed on a 3 side supported 2x4 ledger with a rolled back splash. Joints shall be caulked.



# Phase 2

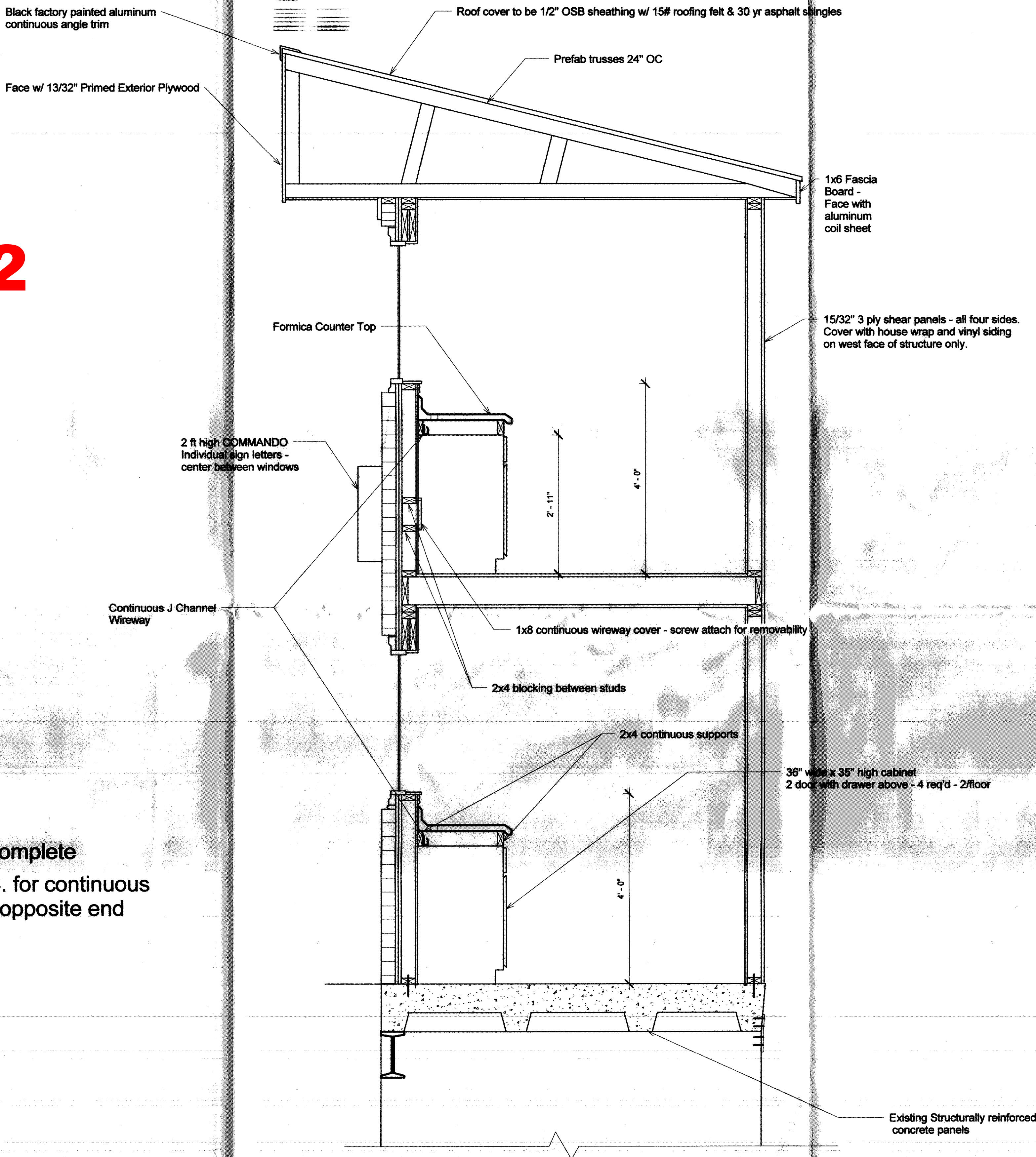


## Section B-B

### Roof North South End Detail

1 Roof North South End Detail  
1" = 1'-0"

2 Section AA - Sheet A101  
3/4" = 1'-0"



## Section A-A



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## HHS Commando

## Quarterback Club

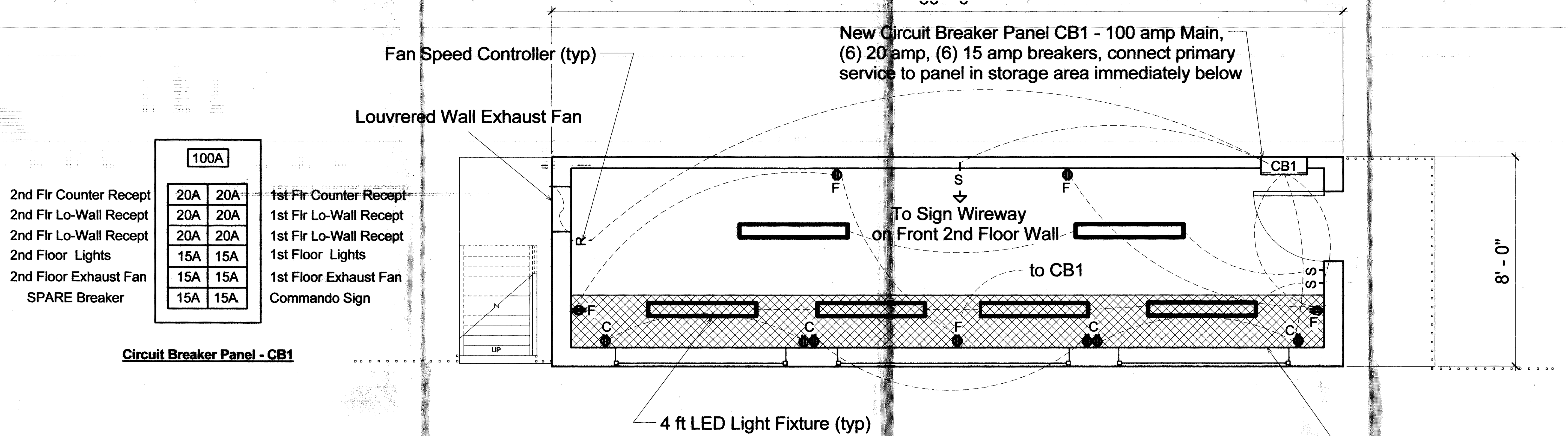
## Details & Sections

Project number	Project Number
Date	2-9-2016
Drawn by	Joe Bibeau
Checked by	Don Long
<b>D101</b>	
Scale	As indicated

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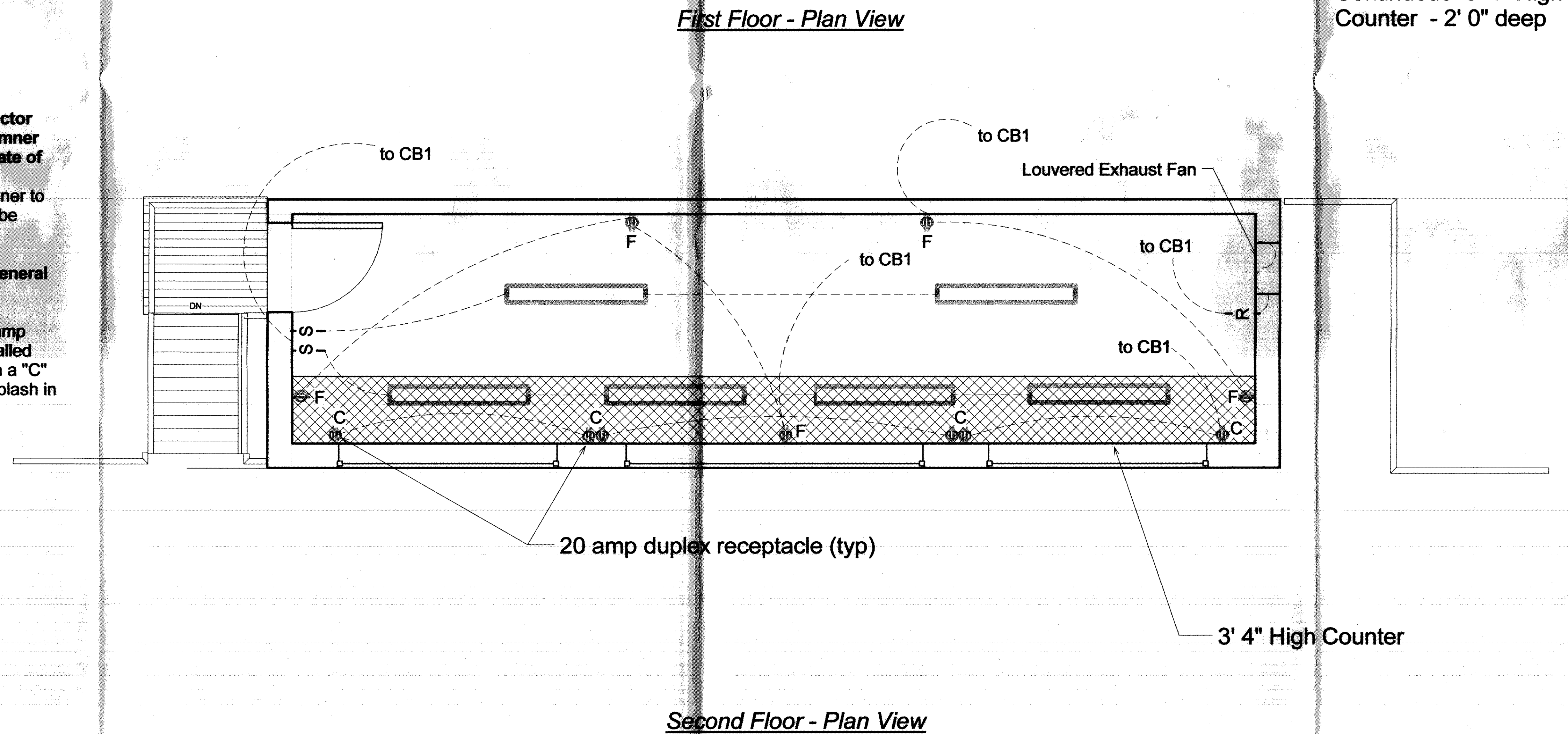


# Phase 2



**General Notes:**

- 1) All work must comply with all local, state, and national building and electrical codes. The Contractor must comply with safety and work rules of the Sumner County Board of Education and the laws of the State of Tennessee
- 2) All work must be performed in a professional manner to accepted industry quality standards. Materials must be installed in compliance with the manufacturer's recommendation.
- 3) All work must conform to the **"Specifications & General Conditions for the Hendersonville High School Stadium Announcers & Press Box Renovation"**.
- 4) All duplex receptacles shall be 20 amps on a 20 amp circuit. Receptacles marked with an "F" shall be installed vertically, 1' 0" above floor. Receptacles marked with a "C" shall be mounted immediately above counter backsplash in a horizontal configuration. All wiring shall be copper.



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## HHS Commando

## Quarterback Club

## Announcer & Press Box - Electrical

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Drawn by	Joe Bibeau
Checked by	Don Long
E101	
Scale	As indicated

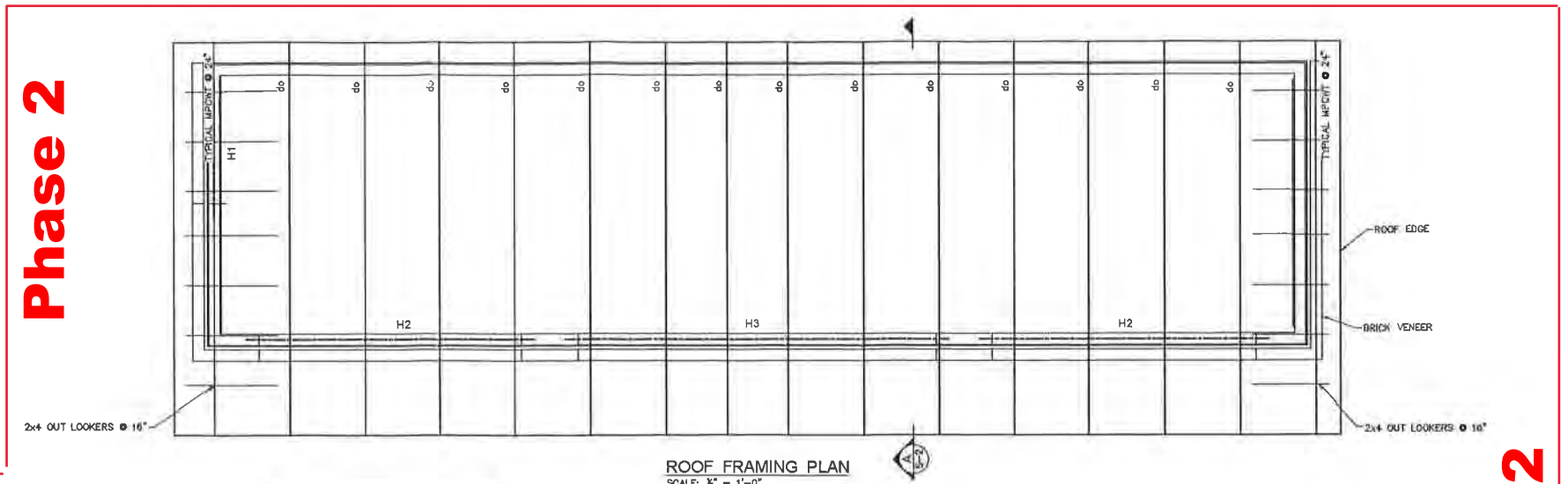
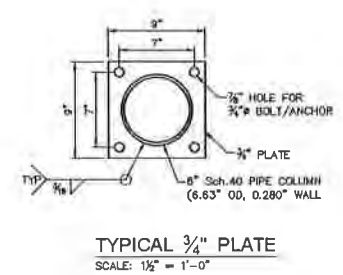


STRUCTURAL NOTES

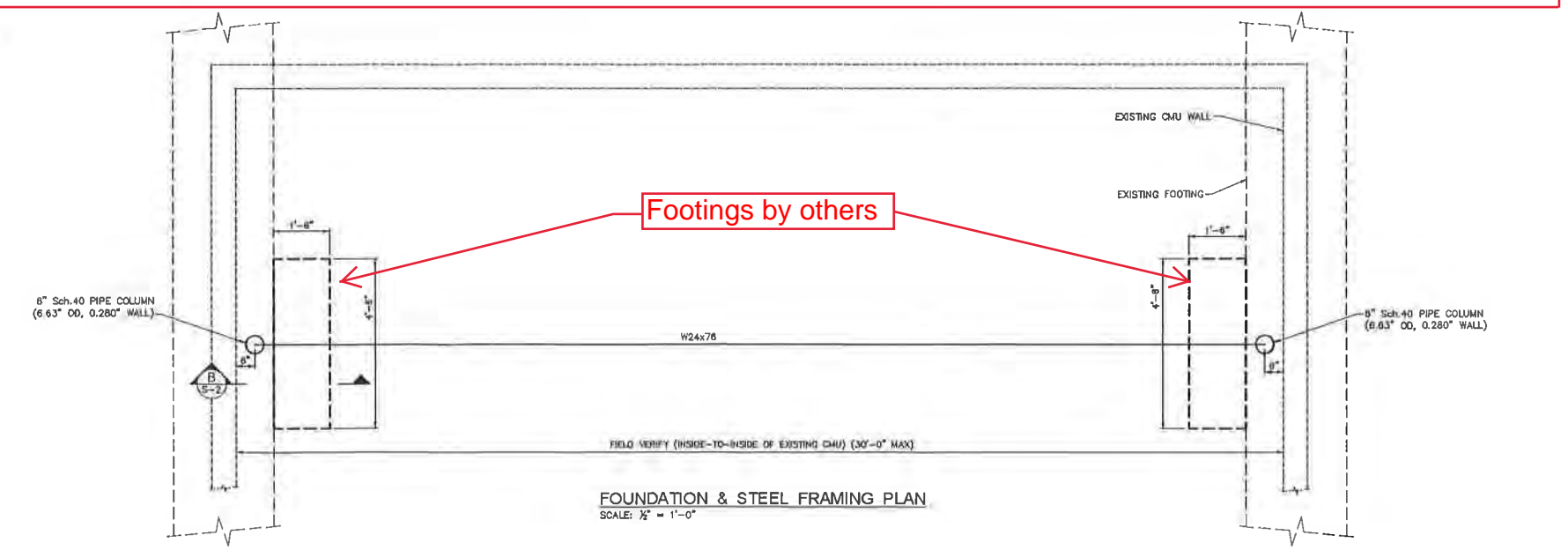
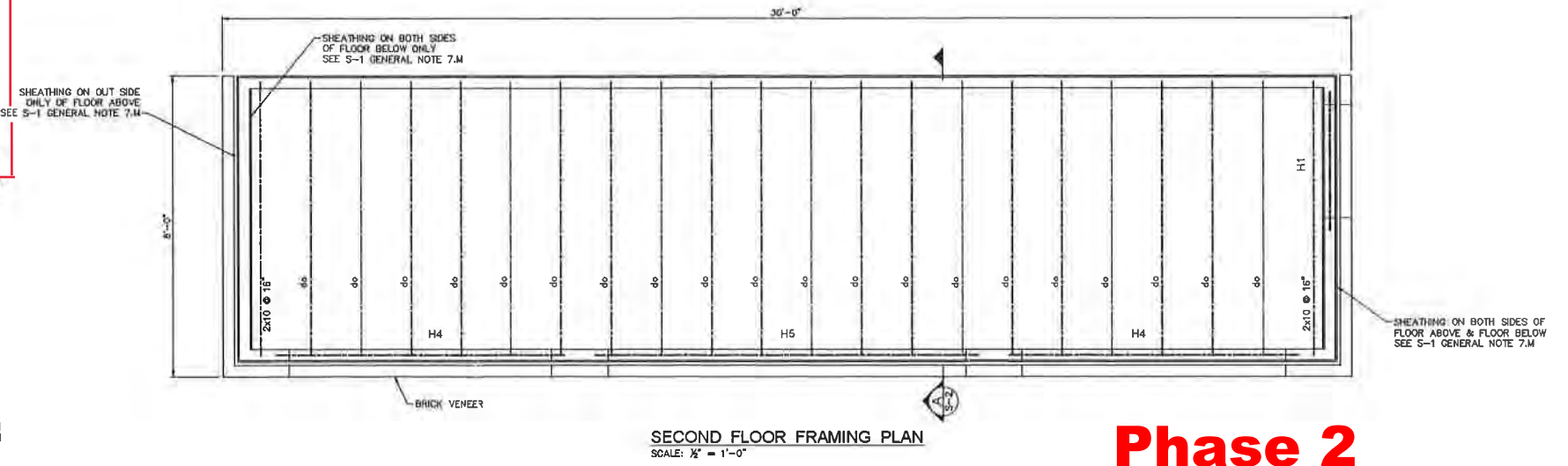
1. GENERAL CONDITIONS
- A. The design of the structure is intended to conform with the provisions of the Building Code defined as: International Building Code, 2012 Edition.
- B. All construction techniques and practices shall conform to the same Building Code.
- C. The contractor shall verify all dimensions and conditions in the field prior to fabrication and construction. The contractor shall immediately notify the engineer of any discrepancies between the field conditions and these drawings.
- D. The design, adequacy, and safety of erection bracing are the sole responsibility of the contractor.
- E. Submit shop drawings for the following work:
- Structural Steel
  - Concrete Mix Design
  - Metal Plate Connected Wood Trusses
- F. Shop drawings shall be sealed by an engineer registered in the state where the project is located.
2. DESIGN LOADS
- A. Floor
- Live: 100 psf
  - Dead: 15 psf
- B. Roof (Metal Plate Connected Wood Trusses)
- Top Chord Live: 20 psf
  - Top Chord Dead: 15 psf
  - Bottom Chord Live: 10 psf
  - Bottom Chord Dead: 5 psf
- C. Wind
- The Main Wind Force Resisting System was designed to resist wind forces per ASCE 7-10 using the following parameters:
- Risk Category = II, Exposure Category = C, Enclosure Classification = Enclosed, End Zone Width = Minimum = 3 ft
- Ultimate Design Wind Speed,  $V_H$  (3-Second Gust) = 115 mph,  $V_{H-3S}$  (Nominal Design Wind Speed) =  $V_H/0.85$  = 89.1 mph
- Velocity Wind Pressure,  $q_h$  = 30.03 psf,  $GCF$  (Internal Pressure Coef.) =  $\pm 0.18$
- D. Seismic
- The Seismic Force Resisting System was designed to resist seismic forces per ASCE 7-10 using the Equivalent Lateral Force Procedure incorporating the following parameters:
- Basic Seismic Force Resisting System = Light-frame (wood) walls sheathed with wood structural panels rated for shear resistance
- $S_s$  = 0.285,  $S_1$  = 0.140,  $S_{DS}$  = 0.208,  $S_{D1}$  = 0.208,  $I_e$  (Importance Factor) = 1.00, Site Class = D, Seismic Design Category = B
- Risk Category = II,  $F_a$  = 1.57,  $F_v$  = 2.24,  $C_s$  = 0.046,  $R$  = 6 $\frac{1}{2}$ ,  $V$  (Base Shear) = 2.88 k
- E. Snow
- $P_f$  (Ground Snow Load) = 10 psf
- F. Guard and Hand Railings (including their attachments) shall be capable of properly resisting the following two non-concurrent load cases:
1. A single concentrated load of 200 lb acting in any direction applied to the top of the railing system.
  2. A uniform load of 50 lb per foot acting in any direction applied to the top of the railing system.
3. FOUNDATION DESIGN INFORMATION
- A. Footings are to bear on undisturbed soil (or controlled fill if the Geotechnical Report permits) below the depth of the local frost line, but not less than 18" below finished grade.
- B. Where unacceptable soil is encountered during excavation, the soil shall be removed and replaced with properly compacted controlled fill per a Geotechnical Engineer's recommendations.
4. REINFORCED CONCRETE
- A. The minimum compressive strength of concrete at 28 days for Strength Design by ACI 318-11 "Building Code Requirements For Structural Concrete" shall be as follows:
- Footings:  $f'_c$  = 3,000 psi
- B. Concrete exposed to freezing and thawing shall have a maximum water/cement ratio of 0.50. All concrete subjected to deluges (and/or required to be watertight) shall have a maximum water/cement ratio of 0.45. Provide entrained air as per ACI 318-11, Table 4.4.1, "Total Air Content for Concrete Exposed to Cycles of Freezing and Thawing".
- C. When placing (pouring) or consolidating concrete, vibrate the concrete using mechanical vibrators.
- D. Reinforcing steel shall be deformed bars conforming to ASTM A615, Grade 60.
- E. Provide the following minimum concrete cover for reinforcement:
- Concrete cast directly on the ground without the use of forms: Cover = 3"
- Concrete exposed to weather or in contact with the ground: Cover = 2"
6. STRUCTURAL STEEL
- A. All structural steel work shall conform to the AISC 360-10 "Specification for Structural Steel Buildings", 14th Edition.
- B. Angles, channels, plates, rods, and bars shall be ASTM A36 ( $F_y$  = 36 ksi), unless noted otherwise.
- C. Wide flange beams shall be ASTM A992 ( $F_y$  = 50 ksi), unless noted otherwise.
- D. Pipes shall be ASTM A53, Grade B, Type E or Type S ( $F_y$  = 35 ksi), unless noted otherwise.
- E. Bolts shall be ASTM A325, unless noted otherwise.
- F. Where ASTM A325 bolts are not available because of the required bolt length and/or thread length, use ASTM A449 bolts with a heavy hex head.
- G. Anchor bolts shall be ASTM F1554 Grade 36, unless noted otherwise.
- H. Welds shown on the structural drawings are representative and may not directly identify all welding processes required. The fabricator's drawings shall show all welds that are required. All welding shall be done by welders that are certified in the welding positions being utilized. For shop welding, use ASTM E70 electrodes. For field welding, use ASTM E70 Low-Hydrogen electrodes. Welds and welding techniques shall conform to AWS Specifications.
- I. Paint all structural steel with a high grade rust-inhibiting primer. Use red oxide primer unless otherwise noted. The compatibility of primer and any top coat shall be verified before any painting is started. Touch-up all exposed metal after field installation. All structural steel which is exposed to the elements shall receive two coats of exterior enamel which is compatible with the primed surface.
- M. Handrail and guardrail (including attachment) shall be provided where required by the Building Code, and shall meet the dimensional requirements of the Building Code and OSHA. Handrail and guardrail shall be capable of resisting the loading described above.
- N. Brick Lintels:
- Opening Less than 6'-0": Use L4x4x $\frac{1}{2}$  Loose Lintel with 4" bearing on each end.
- Opening More than 6'-0": Use L5x5x $\frac{1}{2}$  through bolted to header with  $\frac{1}{2}$ " bolts spaced @ 24" on center
7. WOOD FRAMING
- A. All solid sawn lumber (except studs) shall be Southern Yellow Pine #2, unless noted otherwise.
- B. All exterior walls and interior load-bearing walls shall be framed using 2x4 studs (SPF Stud Grade) @ 16" on center.
- C. All interior non-load-bearing walls shall be framed using 2x4 studs (SPF Stud Grade) @ 16" on center.
- D. All engineered lumber products shall be manufactured by Trus Joist or approved equal.
- E. All connectors shall be manufactured by Simpson Strong Tie, or an approved substitute.
- F. All connectors shall be installed in accordance with the manufacturer's recommendations including the installation of all hardware including anchor bolts, nails, and screws.
- G. Notch or cut engineered lumber products only within the allowable parameters established by the manufacturer.
- H. Install all engineered lumber products in accordance with the manufacturer's recommendations.
- I. Floor decking shall be tongue and groove  $\frac{3}{4}$ " plywood or OSB, glued and nailed (or screwed) to the floor framing.
- J. Roof decking shall be  $\frac{3}{4}$ " plywood (or OSB).
- K. Sheath all exterior walls using  $\frac{1}{2}$ " Structural I sheathing (plywood or OSB).
- L. Connect sheathing to wall framing with 10d nails spaced at 5" on center around all panel edges. Use 8d nails spaced at 6" on center in the panel interior. Where panels are applied to both faces of an exterior wall, panel joints shall be offset to fall on different framing members. Nails at all panel edges shall be staggered.
- M. Provide solid blocking beneath all point loads.
- N. Wall Headers:
- Opening Less than 5'-0": Use Triple 2x6
- Opening More than 5'-0": Use Triple 2x6
- O. All lumber in contact with concrete or masonry shall be pressure treated.
- P. Metal plate connected wood trusses shall be supplied with appropriate uplift hardware and hangers.
- Q. Metal plate connected wood trusses shall be manufactured, installed, and braced in accordance to the recommendations of the Truss Plate Institute.
- R. Metal plate connected wood trusses shall be designed by an engineer licensed in Tennessee. The truss calculations and the truss layout(s) shall be sealed by the engineer, and must incorporate in the design appropriate loading per the Building Code.

STATEMENT OF SPECIAL INSPECTIONS (IBC 2012)

- THE OWNER SHALL EMPLOY SPECIAL INSPECTORS TO PROVIDE INSPECTIONS DURING CONSTRUCTION AS DESCRIBED BELOW.
1. INSPECTION OF FABRICATORS (Structural Steel, Metal Plate Connected Wood Trusses, Pre-Engineered Metal Building, etc.)
- A. If the fabricator is NOT APPROVED (IBC Section 1704.2.5.2), then special inspections shall be performed of the fabricated items on the premises of the fabricator's shop and on the fabricator's "Fabrication and Implementation procedures" (IBC Section 1704.2.5.1).
- B. If the fabricator IS APPROVED (IBC Section 1704.2.5.2), then special inspections are not required, but the approved fabricator shall submit a "certificate of compliance" to the building official.
2. STRUCTURAL STEEL
- Special inspections and non-destructive testing of structural steel shall be in accordance with the quality assurance inspection requirements of AISC 360-10, Chapter N.



HEADER SCHEDULE		
MARK	SIZE	BEARING
H1	DOUBLE 2x6	1 $\frac{1}{2}$ "
H2	DOUBLE 2x6	1 $\frac{1}{2}$ "
H3	DOUBLE 2x12	1 $\frac{1}{2}$ "
H4	2-PLY 9x $\frac{1}{2}$ LVL	3"
H5	2-PLY 11 $\frac{1}{2}$ LVL	3"



All items on this page are Phase 1 unless otherwise noted.

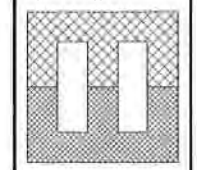
Revisions	
7/11/2016	

Hendersonville High School  
Quarterback Club  
123 Cherokee Dr.  
Hendersonville, TN 37075

Hendersonville High School  
Football Stadium Press Box  
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Hendersonville, TN 37075



**ELROD ENGINEERING**  
871 Seven Oaks Blvd., Suite 220  
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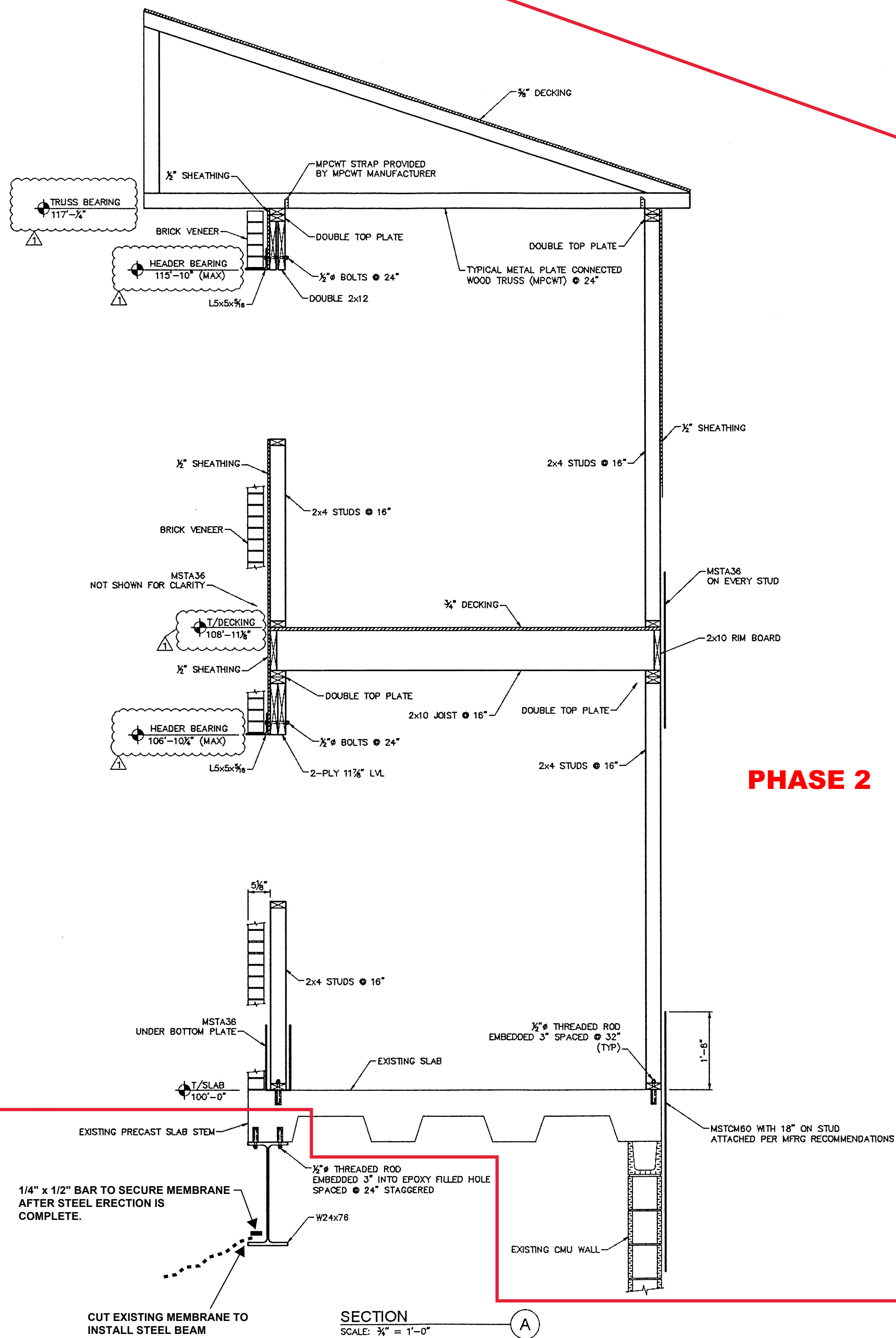


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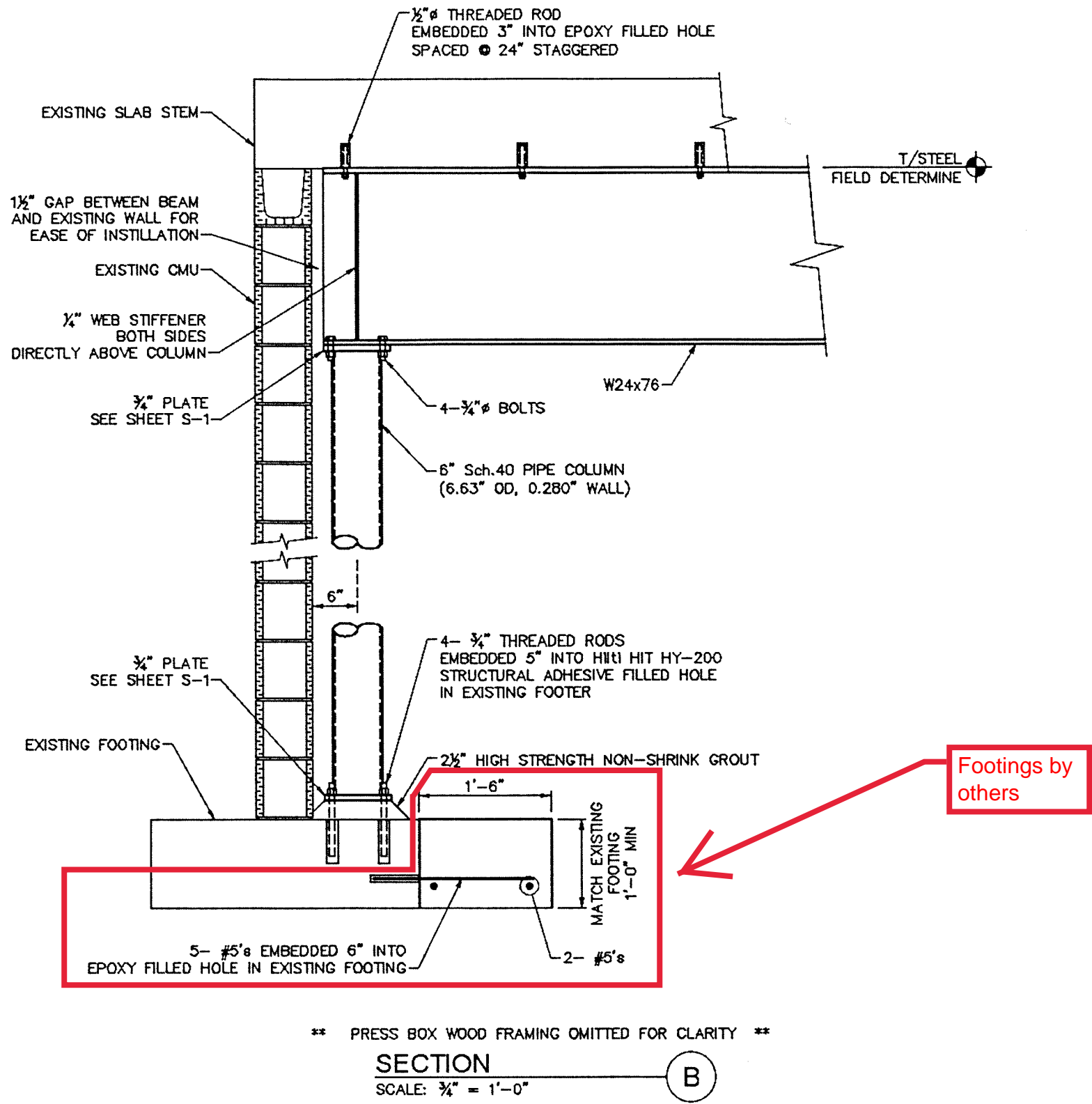
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ALL ITEMS ON THIS PAGE ARE PHASE 1 UNLESS OTHERWISE NOTED

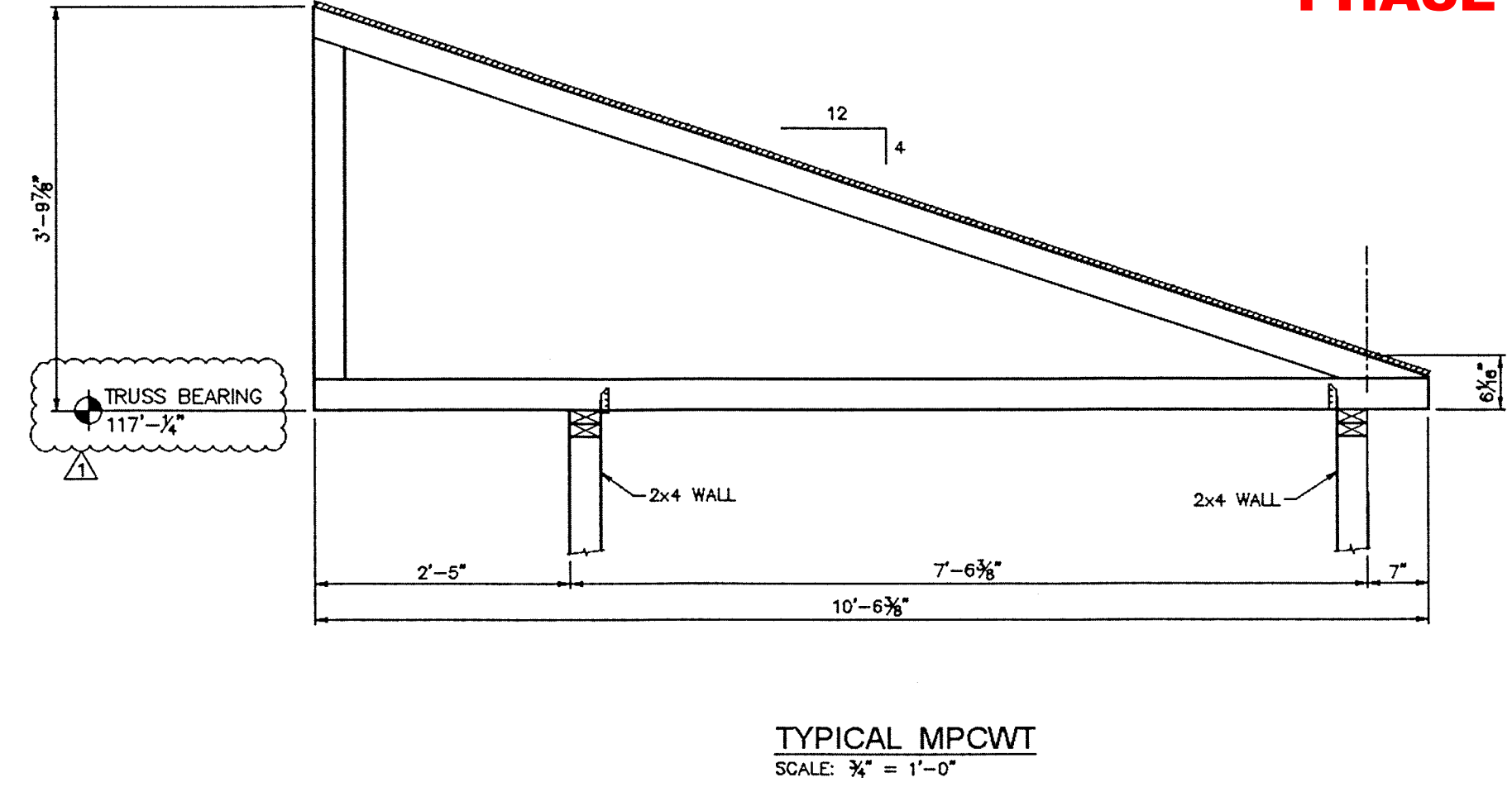


PHASE 2



Footings by others

PHASE 2



TYPICAL MPCWT  
SCALE: 3/4" = 1'-0"

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